



BLUE LAKE PLANNING COMMISSION MEETING AGENDA

Monday, July 19, 2021

7:00 P.M.

Community Center - 111 Greenwood Road
(Skinner Store Building behind City Hall)

LOCATION: In accordance with the Governor's Executive Orders N-25-20 and N-29-20, the Planning Commission of the City of Blue Lake shall conduct the Planning Commission Meeting by teleconference via Zoom. Public input can be given to the Commission by emailing cityclerk@bluelake.ca.gov until 4:30 p.m. on Monday July 19, 2021.

Public input will be facilitated by Zoom at the following meeting link:

<https://us02web.zoom.us/j/86713228290?pwd=bC9lUDFkNVFmWi9jTDBnYTZ6TElaUT09>

Meeting ID: 867 1322 8290

Passcode: 196853

Dial by your location

+1 408 638 0968 US (San Jose)

1. **Approval of Minutes: June 7, 2021 Special Meeting**
2. **Public Input** – *The Public is invited to present petitions, make announcements, or provide other information to the Planning Commission that is relevant to the scope of authority of the City of Blue Lake that is not on the Agenda. The Planning Commission may provide up to 15 minutes for this public input session. To assure that each individual presentation is heard, the Planning Commission may uniformly impose time limitations of 3 minutes to each individual presentation. The public will be given the opportunity to address items that are on the agenda at the time the Planning Commission takes up each specific agenda item.*
3. **Approval of Agenda**

Discussion / Action:

4. **Planning Commission Discussion: General Plan Housing Element Update.** Discussion of implementation measures and programs needed to achieve compliance with State housing policy.
5. **Planning Commission Discussion: Objective design standards for the Opportunity zone and Residential High Density combining zone.**
6. **Miscellaneous Planner Items.**
7. **Upcoming Planning Commission Meetings for the next 3 months will be on August 16th, September 20th, and October 18th.**
8. **Adjournment by 9:00 pm unless extended by the Planning Commission.**

A request for disability-related modification or accommodation, including auxiliary aids or services, may be made by a person with a disability who requires a modification or accommodation in order to participate in the public meeting, by contacting City Manager Amanda Mager, (707) 668-5655, at least 24 hours prior to the commencement of the meeting.

**City of Blue Lake
Draft Planning Commission Special Meeting Minutes
June 7, 2021**

The Blue Lake Planning Commission Meeting was called to order at 7:02 p.m.

Commissioners Present: Earl Eddy, Richard Platz, Matthew Schang, Cort Pryor, and Robert Chapman

Commissioners Absent: None

Staff Present: City Manager Amanda Manager, City Planner Garrison Rees, and Planning Commission Secretary Cheryl Turner

Staff Absent: None

Public Present: None

- 1. Approval of Minutes:** March 15, 2021 and March 29, 2021 Special Meeting
 - a. Motion (Platz, Chapman) to approve March 15, 2021 minutes as written.
 - b. Motion passed unanimously (5-0)
 - c. Motion (Platz, Chapman) to approve March 29, 2021 Special Meeting minutes as written.
 - d. Motion passed unanimously (5-0)
- 2. Public Input on Non-Agenda Items**
 - a. None received.
- 3. Approval of the Agenda**
 - a. Motion (Chapman, Platz) to approve agenda.
 - b. Motion passed unanimously (5-0).

Discussion/ Action:

- 4. Planning Commission Action: #025-101-023/2016 Extension of Planning Commission Tentative Parcel Map approval for Casey and Stacia Eliason for a Minor Subdivision of parcel 025-101-023 (no address assigned) to create three new lots.**
 - a. Commissioner Platz recused himself because he lives across Greenwood Avenue from the property.
 - b. Planner Rees presented the Commissioners a summary of the Staff Report. Planner Rees explained that at the June 10, 2019 Planning Commission meeting, the Commission approved a Tentative Parcel Map (TPM) for the applicant.
 - c. Planner Rees stated that per Municipal Code Section 16.20.010.I.1, approval of a TPM expires within 24 months. Municipal Code Section 16.20.010.I.2.a allows the subdivider to request an extension of the expiration date of the TPM, not to exceed three years.

- d. Planner Rees explained that the Staff is recommending a one-year extension for the TPM approval to allow the applicant sufficient time enter into a Subdivision Improvement Agreement with the City and prepare the Parcel Map for recording.
- e. Motion (Pryor, Schang) to approve the Tentative Parcel Map approval extension request for a period of one year.
- f. Motion passed (4-0).

5. Planning Commission Discussion: General Plan Housing Element Update.

- a. Planner Rees presented the Commissioners a summary of the Staff Report.
- b. Planner Rees explained that in 2019, the 2015 draft Housing Element Update was provided to the California Department of Housing and Community Development (HCD) for their review and a determination of consistency with State housing policy. Planner Rees summarized HCD's letter identifying the deficiencies in the City's draft Housing Element.
- c. Planner Rees described the Local Early Action Planning program (LEAP) grant funds that are available to jurisdictions to help them achieve compliance with State housing policy. Blue Lake was awarded \$65,000 in LEAP funds to update the Housing Element and Zoning Code, develop stormwater regulations, and map stormwater infrastructure.
- d. Planner Rees explained that the next steps are for the Commission to work with City Staff on the Housing Element Update, hold Public Hearings to obtain public comment, and forward their recommendations to the City Council.
- e. The Planning Commissioners discussed emergency shelters, Accessory Dwelling Unit (ADU) restrictions, affordable housing, and housing condition and income surveys.
- f. Planner Rees explained that City staff is planning to request technical assistance from PlaceWorks to assist the City with updating the Housing Element. PlaceWorks is under contract with HCD to assist local jurisdictions with updating their Housing Elements and achieving certification.
- g. Planner Rees explained that there is no expectation that housing will be built in the City, but that the City must adopt policies and programs to lower the barriers to the development of housing for a variety of income levels.
- h. Planner Rees recommended that the next step would be for staff to provide draft programs for the updated Housing Element and objective design guidelines for the Planning Commission to review.
- i. The Commissioners requested that Planner Rees provide a draft of these items for their review at the next meeting.

6. Public Hearing Continued/Planning Commission Discussion: Amendment of Title 17 (Zoning) of the Municipal Code to add Section 17.20.070 (Residential High Density or RHD Combining Zone) that would create a new combining zone that is intended to be combined with principal zones that allow multi-family residential uses for the purpose of facilitating multi-family housing for a variety of income levels. The RHD combining zone is proposed to comply with State housing policy, which requires the City to have a zone that allows a density of 16 dwelling units per acre without any discretionary review (i.e., principally permitted or allowed by right).

- a. Planner Rees explained that this public hearing has been continued from the March

- 15, 2021 Planning Commission meeting.
- b. Planner Rees provided a revised version of the RHD combining zone for the Commissioner's review. The revised version reflects HCD's requirement that the combining zone allow for a density of 16 dwelling units per acre and site without any discretionary review.
 - c. Planner Rees further explained that the City must apply the combining zone to individual parcels that are one-acre or larger to meet the requirement to provide 16 dwelling units per site.
 - d. Planner Rees indicated he will make some final revisions to the combining zone and bring it back for the Planning Commission to hold public hearings and make a recommendation to the City Council.

7. Miscellaneous Planner Items

- a. City Manager Mager updated the Commissioners on several items including infrastructure and Town Center grants, conceptual drawings from Danco Communities for a potential mixed-use project in the Powers Creek District, a grant to study development opportunities in the Powers Creek District and surrounding area, and a grant to study potential recreational development opportunities around the Mad River.

8. Upcoming Planning Commission Meetings for the next 3 months will be on June 21st, July 19th, and August 16th, 2021.

- a. Chair Eddy and Commissioner Chapman indicated they would not be available for the June meeting.
- b. The remaining Commissioners indicated that they would be available for the meetings in the next 3 months but requested that Planner Rees survey them to confirm their availability.

9. Adjournment by 9:00 pm unless extended by the Planning Commission.

- a. Motion (Chapman, Schang) to adjourn.
- b. Motion passed unanimously (5-0).
- c. Meeting adjourned at 7:54 p.m.



CITY OF BLUE LAKE

Post Office Box 458, 111 Greenwood Road, Blue Lake, CA 95525
Phone 707.668.5655 Fax 707.668.5916

DATE: July 16, 2021

FROM: Garry Rees, City Planner

TO: Blue Lake Planning Commission

RE: Item 4: General Plan Housing Element Update

As discussed at prior meetings, the City received grant funds through the Local Early Action Planning (LEAP) program to update its Housing Element and Municipal Code to achieve compliance with State housing policy. Over the next two years, city staff will be working with the Planning Commission and City Council on these amendments.

For this Planning Commission meeting, city staff would like to discuss the housing goals and programs in the City's 2015 Draft Housing Element Update as compared to those that have been recently certified by HCD for other rural cities in the County. Attached to this memo are the draft goals and programs that the City developed for the 5th Housing Element Planning Cycle (2014-2019). Also attached are draft goals and programs that city staff is working on that are consistent with those adopted by other rural cities in the County for the 6th Housing Element Planning Cycle (2019-2024).

For this meeting, city staff would like to answer any questions the Commission may have about the draft goals and programs and receive some direction from the Commission about updating the goals and programs for the 6th Housing Element Planning Cycle.

Attachment 1

VII. GOALS, POLICIES, AND PROGRAMS 2014-2019

The City's goals, policies and programs are intended to accomplish the broad State housing goals as appropriate for Blue Lake's particular needs and circumstances while maintaining the quality living environment and rural character of Blue Lake. The goals are consistent with and generally the same as those in the Residential Land Use section of the Land Use Element.

A. GOALS, POLICIES, AND PROGRAMS

GOAL 1: TO PRESERVE THE CITY'S HISTORICAL AND CULTURAL HERITAGE THROUGH THE PRESERVATION AND IMPROVEMENT OF THE CITY'S EXISTING HOUSING STOCK

POLICIES

- Policy 1.1:** All new residential development shall be consistent with the character of the City and blend with existing development.
- Policy 1.2:** The City shall promote conservation and improvement of the existing house stock, particularly historic structures. Specific areas of concern include house wiring, secured foundations and prevention of water damage.
- Policy 1.3:** Encourage citizen involvement in property maintenance and efforts to improve the housing stock and overall neighborhood quality.

PROGRAMS

Program 1a Housing Rehabilitation Program. The City places a high priority on maintaining the quality of its housing stock. The City will consider applying to or supporting applications to HCD and other funding agencies for funds to provide low interest and deferred loan programs for the rehabilitation of housing occupied by targeted income households.

Time Frame: Minimum one application during the current planning cycle.

Responsible Agency: City Staff and City Council.

Funding Sources: General Fund.

Objectives: To facilitate and encourage housing rehabilitation for targeted income households.

GOAL 2: TO PROVIDE ADEQUATE HOUSING FOR PERSONS WITH SPECIAL HOUSING NEEDS SUCH AS TARGET INCOME GROUPS OF LOW-INCOME, THE ELDERLY, HANDICAPPED AND FEMALE-HEADED HOUSEHOLDS

POLICIES

- Policy 2.1:** Local, State and Federal housing and economic development programs shall be

pursued. These are the primary means necessary to assist the City in reaching defined objectives.

- Policy 2.2:** The housing needs of elderly, seasonally employed heads of households, handicapped, and other identified special needs groups in the City have a high priority.
- Policy 2.3:** Provisions for access for the handicapped shall be considered in all new or rehabilitated residential developments, particularly for multiple family dwellings.
- Policy 2.4:** Mobile homes and manufactured housing shall continue to be permitted in compatible residential districts.
- Policy 2.5:** The City will coordinate efforts to identify and assure temporary housing opportunities in the event of a disaster.
- Policy 2.6:** The City shall develop a program for notifying all residents of availability of housing programs and funding.
- Policy 2.7:** Create mixed-use opportunities along key commercial corridors as a means of enhancing pedestrian activity and community interaction.

PROGRAMS

Program 2a Group Quarters. Feasibility for group quarter opportunities for targeted groups (single persons, female-headed households, disabled, seniors, etc.) will be researched and implemented if a need or interest is identified. Once a need or interest is identified and program funds are available, the City will apply for HCD's Family Housing Demonstration Program (FHDP).

Time Frame: If individual is interested and program funds are available, City will assist in the application process.

Responsible Agency: City Staff and City Council.

Funding Sources: General Fund.

Objectives: To meet the need for group quarter in the City if determined necessary.

Program 2b Senior Housing. Senior Group Housing Opportunities should be pursued. The City will submit at least one application to HCD, at time a Request for Proposal is distributed, for Senior Citizen Shared Housing Program (SCSHP).

Time Frame: If individual is interested and program funds are available, City will assist in minimum one application during the current planning cycle.

Responsible Agency: City Staff and City Council.

Funding Sources: General Fund & SCSHP Funding.

Objectives: To meet the need for senior housing in the City.

Program 2c Limited Care Facilities for Seniors and/or Disabled Persons. The City will pursue or provide assistance to individuals for the development of limited care facilities for seniors and/or the disabled.

Time Frame: If applicable program is identified and program funds are available, City will submit one application during the current planning cycle.

Responsible Agency: City Staff and City Council working with Service Providers.

Funding Sources: General Fund.

Objectives: To meet the need for limited care facilities for seniors and/or disable persons in the City.

Program 2d Emergency Shelters, Transitional Housing, and Group Housing. During the effective period of this element the City will review the Zoning Ordinance and consider inclusion of emergency shelters, transitional housing and group housing uses and allow them in appropriate zones if the need arises. If determined to be necessary, Blue Lake will enter into a multi-jurisdictional agreement with surrounding jurisdictions such as Arcata, Eureka, or Humboldt County to address this need pursuant to SB 2 (Local Planning and Approval for Emergency Shelters and Transitional and Supportive Housing).

Time Frame: By 2019.

Responsible Agency: Planning Staff and City Council.

Funding Sources: General Fund.

Objectives: To consider inclusion of emergency shelters, transitional housing, and group housing in appropriate zones in the Zoning Ordinance and enter into a multi-jurisdictional agreement with a nearby jurisdiction to provide this type of housing if determined to be necessary.

Program 2e Publicize Programs and Resources. The City, through the City's website, water billing, or other available methods, will publicize available programs or resources regarding the following:

- a) Subsidized Housing Programs.
- b) Shared Housing Opportunities.
- c) Available day care/nursery school programs.
- d) Permit process to become a licensed day care provider.
- e) Fair Housing Practices.
- f) Nearby Social Services.
- g) Local Employment Opportunities.

Time Frame: Ongoing.

Responsible Agency: City Staff.

Funding Sources: General Fund.

Objectives: To ensure the public is aware of the programs and resources available to assist them.

GOAL 3: REMOVE UNNECESSARY GOVERNMENTAL CONSTRAINTS WHILE MAINTAINING THE QUALITY LIVING ENVIRONMENT AND RURAL CHARACTER OF BLUE LAKE

POLICIES

- Policy 3.1:** The City, in its review of development proposals, should consider exceptions or revisions to City ordinances related to zoning, density, services or other incentives based on the merits of the project to provide or improve the living conditions of its residents.
- Policy 3.2:** The City should encourage residential second-story use of existing commercial structures provided; parking requirements can be met on-site or by allowing reductions or elimination of off-street parking based on the historical nature of the property including the architectural or landscaping amenities that would be displaced by parking or the availability of space on a parcel with existing improvements. Also, non-conflicting commercial and residential uses should be allowed to share available off-street parking as a means of reducing parking requirements.
- Policy 3.3:** Provide flexibility in development standards to accommodate alternative approaches to provide affordable housing such as mixed-use projects while maintaining the quality living environment and rural character of Blue Lake.
- Policy 3.4:** Provide for streamlined, timely, and coordinate processing of residential projects to minimize holding costs and encourage housing production.

PROGRAMS

- Program 3a Remove Unnecessary Development Constraints.** Staff will periodically review the development standards for residential zones to identify standards that may constrain the development of affordable housing and housing for special groups, such as disabled individuals. The City is flexible and is committed to working with developers to build affordable units, which may require modifications to constraining standards. Flexible development standards allow for variation of the development/design standards required by the multifamily zones when affordable units are included in the development. Allowed modifications may include standards such as parking, unit size, lot size, lot dimensions, setbacks, common open space, art in public spaces, landscaping, and public works improvements.
- Program 3b Residential Second Units.** Allowing for the development of second-units on single family lots offers a valuable affordable housing option to specific types of

residents within the community. Second-units can benefit seniors, students and single persons that desire to live a less dense setting. Allowing for second-units can also provide property owners with a source of income which can benefit middle class residents and elderly homeowners. There are several lots remaining in the City large enough to permit a second-unit under existing single-family zoning regulations. Within the Zoning Ordinance, the City currently allows second-units in residential zones to be administratively approved by Staff as required by State law. City will review Section 627 (Residential Second Units) of the Zoning Ordinance by 2019 to investigate ways to further the appropriate construction of "second units or granny units" in certain residentially zoned districts.

Time Frame: By 2019.

Responsible Agency: Planning Staff, Planning Commission, and City Council.

Funding Sources: General Fund.

Objectives: Investigate ways to further the appropriate construction of second-units in the City.

Program 3c Principally Permitting Multi-Family Development. The City will propose consider revision of the Residential Multiple Family (R3) Zone to establish performance and/or development standards that would allow more of the conditionally permitted uses to be principally permitted (allowed by right) including multifamily residential developments.

Time Frame: By 2019.

Responsible Agency: Planning Staff, Planning Commission, and City Council.

Funding Sources: General Fund.

Objectives: Consider principally permitting multi-family development subject to performance and/or development standards.

Program 3d Single-Family Zoning Consistency with State Law. The City will revise the Residential-One-Family (R1) Zone to address group homes (rest homes, nursing homes, etc.) of fewer than six persons to be consistent with State law.

Time Frame: By 2019.

Responsible Agency: Planning Staff, Planning Commission, and City Council.

Funding Sources: General Fund.

Objectives: Ensure R1 Zone is consistent with State law.

Program 3e American Disabilities Act (ADA). The City will implement the requirements of the American Disabilities Act through the following specific actions:

a) The City will provide a process for requesting "reasonable accommodation"

with respect to zoning, permit processing, building laws, and the enforcement of building codes and the issuance of building permits. Once the process for “reasonable accommodation” is developed, the City will make this information available to the public on the City’s website.

- b) During the effective period of this element the City will make efforts to remove any existing constraints on housing for persons with disabilities, such as accommodating procedures for the approval of group homes, ADA retrofits, and evaluation of the zoning code for ADA compliance or other measures that provide flexibility.
- c) The City will also consider revising Section 610 (Off-Street Parking Facilities) of the Zoning Ordinance to allow for parking reductions for special needs housing.

Time Frame: Ongoing

Responsible Agency: City Council, and City Building Official.

Funding Sources: General Fund.

Objectives: Implement the requirements of the American Disabilities Act.

GOAL 4: PROMOTE EQUAL HOUSING OPPORTUNITES

POLICIES

- Policy 4.1:** Discrimination in housing based on race, color, religion, sex, family size, marital status, national origin, ancestry or other arbitrary factors, will not be permitted. Safeguards will be instituted to insure fair housing opportunities.
- Policy 4.2:** Cooperate with the Department of Fair Employment and Housing (DFEH) in the enforcement of fair housing laws and in the review of violations of applicable Federal and State fair housing laws.
- Policy 4.3:** Periodically review and the revise the City’s ordinances, if necessary, to ensure consistency with Fair Housing Law.

PROGRAMS

- Program 4a Fair Housing Complaint Process.** The City Clerk is designated as the contact for referral of fair housing complaints to the State Department of Fair Employment and Housing.

Time Frame: Ongoing. A minimum two notices will posted each year at City Hall, the County Library, and the Post Office by City Staff.

Responsible Agency: City Staff.

Funding Sources: General Fund.

Objectives: Maintain a process for submitting fair housing complaints and

promote fair housing practices in the City.

Program 4b Zoning Ordinance Consistency with Fair Housing Law. During the effective period of this element the City will review the Zoning Ordinance and other City ordinances and policies for consistency with the fair housing law.

Time Frame: By 2019.

Responsible Agency: Planning Staff and City Council.

Funding Sources: General Fund.

Objectives: Ensure City's Zoning Ordinance is consistent with fair housing law.

Program 4c Definition of Family in Zoning Ordinance. During the effective period of this element the definition of 'family' in the Zoning Ordinance will be revised to be compliant with fair housing law.

Time Frame: By 2019.

Responsible Agency: Planning Staff, Planning Commission, and City Council.

Funding Sources: General Fund.

Objectives: Ensure City's Zoning Ordinance is consistent with fair housing law.

GOAL 5: TO ASSURE ADEQUATE SITES TO ACHIEVE A DIVERSITY OF HOUSING FOR A VARIETY OF INCOME LEVELS WHILE MAINTAINING THE QUALITY LIVING ENVIRONMENT AND RURAL CHARACTER OF BLUE LAKE

POLICIES

- Policy 5.1:** Zoning policies will assure the availability of sites that can collectively accommodate a variety of housing by type, size, and price for all economic segments of the City.
- Policy 5.2:** Provide a range of residential development types, including low density single-family homes, moderate density townhomes, higher density multifamily units, and residential/commercial mixed use in order to address the City's share of regional housing needs.
- Policy 5.3:** The City should encourage the use of private initiative and public programs to provide housing for low- and moderate-income families.
- Policy 5.4:** Local public and/or private water and sewer providers should adopt written policies and procedures that grant a priority for service hook-ups to developments that help meet the community's share of the regional need for low-income housing.

Policy 5.5: Improve information sharing on housing-related programs, financial resources, and progress in meeting between various governmental agencies and the general public.

Policy 5.6: Consider adopting a density bonus ordinance in compliance with Government Code Section 65915 and develop an outreach program to ensure its successful implementation.

PROGRAMS

Program 5a Multi-Family Housing for Low- and Moderate-Income Households. The City will conduct proactive efforts to assist multi-family development for low- and moderate-income households through the following specific actions:

- a) Assist developers in identifying suitable sites with appropriate zoning.
- b) Work with USDA Rural Development and HCD to keep up with funding opportunities for multi-family development.
- c) Continue offering pre-application meetings to assist in identifying issues and concerns for development projects.

Time Frame: Ongoing.

Responsible Agency: City Clerk, Planning Staff, and City Council.

Funding Sources: General Fund and State/Federal Funding.

Objectives: To assist the development of multi-family housing for low- and moderate-income households in the City.

Program 5b Water and Sewer Service Priority for Lower-Income Households. During the effective period of this element the City will review and update its sewer and water ordinances to ensure compliance with SB 1087 (Water and Sewer Service Priority for Housing Affordable to Lower-Income Households).

Time Frame: By 2019.

Responsible Agency: Planning Staff and City Council.

Funding Sources: General Fund.

Objectives: To ensure City Ordinances are compliant with SB 1087 and facilitate housing development for lower-income households.

Program 5c Planned Developments. The City will encourage planned developments on large parcels to facilitate the construction of a variety of housing types and densities including multifamily for lower-income households. Financial assistance to offset part of the cost of extending public facilities will be considered by the City as an activity for inclusion in an application to the State Department of Housing & Community Development (HCD) for Community Development Block Grant (CDBG) Funds to further encourage planned developments.

Time Frame: If individual is interested and program funds available, City will assist in a minimum of one application in the next five years. City will look into reapplying for funding when funds from the previous grant are expended.

Responsible Agency: City Staff and City Council. & RCAA

Funding Sources: General Fund & CDBG Funding.

Objectives: Encourage planned developments on large parcels and seek funding to offset part of the cost of extending public facilities.

Program 5d Density Bonus Ordinance. The City will consider adoption of a density bonus ordinance by 2019 in accordance with Section 65915 of the Government Code.

Time Frame: By 2019.

Responsible Agency: Planning Staff, Planning Commission, and City Council.

Funding Sources: General Fund.

Objectives: To consider adoption of a density bonus ordinance consistent with Section 65915 of the Government Code.

GOAL 6: PROMOTE ENERGY EFFICIENCY AND PLAN FOR CLIMATE CHANGE

POLICIES

- Policy 6.1:** The provision of energy conserving measures and materials shall be encouraged for all new residential development and rehabilitation.
- Policy 6.2:** Promote and support State and local programs for energy conservation and renewable energy system installation in existing homes.
- Policy 6.3:** Promote renewable energy generation and water conservation and efficiency in new development of housing.
- Policy 6.4:** Providing an adequate supply of housing will ensure sufficient affordable housing for the full range of income groups thereby reducing long commutes in search of affordable housing.

PROGRAMS

Program 6a Energy Efficiency and Weatherization Programs. Information about energy efficiency and weatherization programs offered by Redwood Coast Energy Authority (RCEA), Redwood Community Action Agency (RCAA), and similar organizations will be provided to renters and homeowners at City Hall. Renters and homeowners will be encouraged to take advantage of these programs to help implement the City's Climate Action Plan and Energy Element.

Time Frame: Ongoing.

Responsible Agency: City Council, City Staff, RCEA, and RCAA.

Funding Sources: General Fund and RCEA and RCAA energy efficiency and weatherization programs.

Objectives: Encourage energy conservation and implementation of the City's Climate Action Plan and Energy Element.

Program 6b Weatherization Improvements and Energy Efficient Upgrades During Rehabilitation. Owner's rehabilitating residential units will be encouraged to include retrofit weatherization improvements such as attic, floor, and duct insulation, furnace duct sealing, caulking and weather-stripping and energy-efficient upgrades such as efficient light bulbs, low-flow water fixtures, and efficient appliances.

Time Frame: Ongoing.

Responsible Agency: City Council, City Staff, RCAA, and RCEA.

Funding Sources: General Fund, Redwood Community Action Agency (RCAA) weatherization programs, and Redwood Coast Energy Authority energy-efficient upgrade programs.

Objectives: Encourage energy conservation and implementation of the City's Climate Action Plan and Energy Element.

Program 6c Title 24 Compliance. New construction will be required to comply with Title 24 of the State Building Code. These requirements are approved by the City Building Department at the time of plan review or permit application.

Time Frame: Ongoing, current requirement.

Responsible Agency: Building Department.

Funding Sources: General Fund and Building Permit Fees.

Objectives: Ensure new construction complies with Title 24 of the State Building Code.

Program 6d Economic Development. The City will continue to seek methods to revitalize the Downtown and market the Business Park. The purpose will be to increase local employment opportunities and tourist spending. The City will conduct a strategic analysis to identify opportunities/constraints for marketing and development of the Business Park. Having employment and goods and services available locally will reduce vehicle miles traveled to other nearby employment and commercial centers.

Time Frame: Ongoing.

Responsible Agency: City Council and City Staff.

Funding Sources: General Fund and Grants.

Objectives: Increase economic development locally and reduce vehicle miles traveled.

Attachment 2

Housing Goals, Objectives, and Programs

The City's goals, policies and objectives are intended to accomplish the broad State housing goals and requirements as appropriate for Blue Lake's particular needs and circumstances. The format and organization of the goals and policies of the City's Housing Element are slightly different than the other chapters of the General Plan. Rather than there being a set of policies for each goal, all the goals and policies are grouped together because most of the policies are applicable to multiple goals.

Goal HG-1: Assure adequate, safe, cost-effective and energy efficient housing opportunities for all segments of the community, while maintaining the quality living environment and rural character of Blue Lake by planning for and enabling the development of balanced residential neighborhoods with access to affordable housing, community facilities, and public services.

Community Housing Policies

- HP-1.1 Review all new residential development to be consistent with the existing small-town character of the community and blend with existing development, as well as to ensure sustainability and environmental protection. (Similar to City Policy 1.1)
- HP-1.2 Encourage multi-family developments on larger lots (>1 acre) in the Mixed-Use (MU), Opportunity (O), and Planned Development Residential (PDR) zones. (Similar to City Program 5c)
- HP-1.3 Revise the Municipal Code to allow manufactured housing to be permitted on sites where single-family dwellings would otherwise be allowed. (Similar to City Policy 2.4, but consistent with State housing policy)
- HP-1.4 Promote conservation and improvement of the existing housing stock, with emphasis on older structures. Specific areas of concern include energy efficiency, electrical wiring, foundation stability, and prevention of water damage. (Similar to City Policy 1.2)
- HP-1.5 Encourage the use of private-initiated and / or publicly-funded programs to provide housing for low- and moderate-income families, and pursue as feasible, appropriate, applicable local, State, and Federal housing and economic development programs. As pertinent information becomes available, develop a program for notifying residents of the availability of housing programs and funding. (Similar to City Policies 2.1, 2.6, 5.3, and 5.5)
- HP-1.6 Preserve the City's more affordable housing stock along with historical and cultural heritage through preservation and innovative reuse of older structures. (Similar to City Goal 1)
- HP-1.7 Encourage citizen involvement in property maintenance and efforts to improve the housing stock and overall neighborhood quality. (City Policy 1.3)

Goal HG-2: Provide for adequate housing for persons with special housing needs such as target income groups of low-income, the elderly, handicapped, and female-headed households. (Similar to City Goal 2)

Special Needs Housing Policies

- HP-2.1 Discrimination in housing based on race, color, religion, sex, family size, marital status, national origin, ancestry, or other arbitrary factors is not permitted. Support appropriate safeguards to ensure fair housing opportunities. (Similar to City Policy 4.1)

- HP-2.2 Encourage provisions for access for the handicapped in new or rehabilitated residential and commercial developments by considering exceptions or revisions to City ordinances allowing more flexibility relating to zoning, density, reduced setbacks or other incentives to provide reasonable accommodation or improve living conditions of residents. (Similar to City Policy 2.3)

- HP-2.3 Encourage the County to allow a variety of housing types in the residential areas surrounding the City. Consider entering into a multi-jurisdictional agreement to provide housing and / or shelter for homeless persons. (Similar to City Program 2d)

- HP-2.4 Encourage new residential development in Blue Lake to specifically address the needs of seniors, including projects that have smaller yards, low-maintenance landscaping, limited mobility fixtures, and appropriately sized parking spaces.

Implementation Programs

HI-1 Amend the Zoning Ordinance to address the following:

- **Accessory Dwelling Units (ADUs).** Allow Accessory Dwelling Units (ADU) in accordance with Assembly Bill 2299 and Senate Bill 1069. Consider adopting a Junior Accessory Dwelling Unit (JADU) ordinance to allow for a simple and affordable housing option. (Similar to City Program 3b)
- **Manufactured housing/Mobile homes.** Allow manufactured housing and mobile homes in the same manner and in the same zone as a conventional or stick-built structures are permitted (Government Code Section 65852.3). (Similar to City Policy 2.4, but consistent with State housing policy)
- **Single Room Occupancy Units (SROs).** Define and allow principally permitted in the Mixed-Use (MU), Opportunity (O), and Planned Development Residential (PDR) zones.
- **Transitional and Supportive Housing.** Define supportive housing. Permit transitional and supportive housing as permitted uses subject to only the same restrictions on residential uses contained in the same type of structure. In addition, supportive housing will be allowed as a permitted use, without discretionary review, in zones where multifamily and mixed uses are permitted, including nonresidential zones permitting multifamily uses. (Similar to City Program 2d, except must be completed instead of considering)
- **Emergency Shelters.** Allow by-right, without discretionary review, in the Mixed-Use (MU), Opportunity (O), or Planned Development Residential (PDR) zoning districts. (Similar to City Program 2d, except must be completed instead of considering)
- **Employee Housing.** Comply with the State Employee Housing Act (Health and Safety Code Sections 17021.5 and 17021.6). (Related to City Program 4c)
- **Density Bonus.** Comply with state density bonus law (Government Code Section 65915, as revised). Promote the density bonus through informational brochures which will be displayed at City Hall. (Related to City Program 5d)
- **Reasonable Accommodation.** Develop and formalize a process that a person with disabilities will need to go through to make a reasonable accommodation request in order to accommodate the needs of persons with disabilities and streamline the permit review process. The City will provide information to individuals with disabilities regarding reasonable accommodation policies, practices, and procedures based on the guidelines from HCD. This information will be available through postings and pamphlets at the City and on the City’s website. (Related to City Program 3e)
- **Residential Care Facilities.** Allow for residential care homes with six or fewer persons by right in all residential zones subject only to the same restrictions in that zone; and allow larger group homes of seven or more persons in the Mixed Use (MU), Opportunity (O), and Planned Development Residential (PDR) zoning districts with a conditional use permit. Additionally, the City will amend the Zoning Ordinance to update its definition of “family” to be “One or more persons living together in a dwelling unit.” (Related to City Program 3d, but broader in scope)

Responsibility: City Council, Planning Commission, Planning Staff, and the CCC.

Time Frame: Amend the Zoning Code by July 2022. Consider adoption of a JADU ordinance by January 2022.

Funding Source: General Fund and or grants.

HI-2 AB 101 (2019), review the City’s Zoning Ordinance and make revisions if necessary, to allow low barrier navigation centers for the homeless per Government Code 65660-65668. **(Related to City Program 2d, except must be done instead of considering)**

Responsibility: City Council, Planning Commission, and Planning Staff.

Time Frame: Review zoning by 2022. Make revisions by June 30, 2023.

Funding Source: General Fund.

HI-3 As resources are available, publicize available programs regarding the following topics through a local community newsletter or water billing: **(Similar to City Program 2e)**

- Subsidized Housing Programs
- Shared Housing Opportunities
- Available day care/nursery school programs
- Permit process to become a licensed day care provider
- Available adult day care program
- Fair Housing Practices
- Nearby Social Services
- Housing Rehabilitation Programs, Weatherization Programs
- Local Employment Opportunities

Responsibility: City Council and City Clerk

Time Frame: Ongoing, as programs are available

Funding Source: General Fund

HI-4 As Notice of Funding Available (NOFAs) are released, apply for available grant funding through the CalHome program to assist individual first-time homebuyers through deferred-payment loans for down payment assistance, home rehabilitation, including manufactured homes not on permanent foundations, acquisition and rehabilitation, homebuyer counseling, self-help mortgage assistance, or technical assistance for self-help homeownership.

Responsibility: City Council, Planning Commission, and Planning Staff.

Time Frame: Annually apply as NOFAs are released.

Funding Source: CalHome and other available funding sources

HI-5 To encourage development of housing for lower- income households including, extremely low-income, and special needs households such as, people experiencing homelessness, senior, single parent, and disabled households, work with local non-profits on a variety of activities, such as conducting outreach to housing developers on an annual basis; providing financial assistance (when feasible), or in-kind technical assistance; providing expedited processing; identifying grant and funding opportunities; applying for or supporting applications for funding on an ongoing basis; reviewing and prioritizing local funding at least twice in the planning period; and/or offering additional incentives beyond the density bonus.

In addition, support the rehabilitation of suitable structures to single room occupancy units by providing available grant funding or other financial assistance opportunities when projects are brought to the City. **(Related to City Program 5a, but more comprehensive)**

Responsible Agencies: City Council, Planning Commission, and Planning Staff.

Timeframe: Annual outreach to developers, prioritize local funding at least twice in the planning period, and support expediting applications on an ongoing basis.

Funding Source: General Fund, CDBG funds

- HI-6 Encourage new and rehabilitated units to include weatherization improvements such as ceiling and floor insulation, caulking, and weather-stripping and disseminate energy conservation information for existing housing by publicizing and / or providing information regarding energy audit and weatherization programs, such as those through the Redwood Coast Energy Authority, PG&E, and Energy Upgrade California™, as they become available. **(Related to City Program 6b)**

Responsibility: City Council, Planning Commission, and Building Inspector

Time Frame: Ongoing, as projects are processed.

Funding Source: General Fund

- HI-7 The City will establish a written policy or procedure and other guidance as appropriate to specify the SB 35 streamlining approval process and standards for eligible projects, as set forth under GC Section 65913.4.

Responsibility: City Council, Planning Commission, and Planning Staff

Time Frame: Annually review, develop a SB 35 streamlining approval process by January 2022.

Funding Source: General Fund

- HI-8 Continue to require all projects to comply with the current version of Title 24 of the California Building Standards Code. **(Similar to City Program 6c)**

Responsibility: City Building Inspector

Time Frame: Ongoing, as projects are processed.

Funding Source: General Fund

- HI-9 Consider requesting a local organization involved in housing rehabilitation (e.g. Redwood Community Action Agency (RCAA)) to survey the City of Blue Lake's housing stock as an initial step for reestablishing a housing rehabilitation program for targeted income groups. Once the survey is completed, the City will pursue funding and programs as appropriate. **(Related to City Program 1a)**

Responsibility: City Council

Time Frame: Reach out to RCAA by January 2022, if funding is available, complete survey by January 2022. Pursue funding and programs at least twice in the planning period.

Funding Source: General Fund

HI-10 Develop a plan to Affirmatively Further Fair Housing (AFFH). The AFFH Plan shall take actions to address significant disparities in housing needs and in access to opportunity for all persons regardless of race, religion, sex, marital status, ancestry, national origin, color, familial status, or disability, and other characteristics protected by the California Fair Employment and Housing Act (Part 2.8 (commencing with Section 12900) of Division 3 of Title 2), Section 65008, and any other state and federal fair housing and planning law. **(Related to City Program 4a)**

Specific actions could include but are not limited to:

- Provide dedicated staff that investigates fair housing complaints and enforces fair housing laws.
- Facilitate public education and outreach by creating informational flyers on fair housing that will be made available at public counters, libraries, and on the City’s website. City Council meetings will include a fair housing presentation at least once per year
- Actively recruit residents from neighborhoods of concentrated poverty to serve or participate on boards, committees, and other local government bodies.
- Develop a proactive code enforcement program that holds property owners accountable.
- Provide education to the community on the importance of completing Census questionnaires.

Responsibility: City Council, Planning Commission, and Planning Staff

Time Frame: Create Plan by January 2023 and implement on an ongoing basis

Funding Source: General Fund

HI-11 The City will continue to encourage appropriately licensed / permitted cottage or home-base industries, including those related to recreation / tourism to the area, to a reasonable extent, in efforts to bolster the City’s economy, promote affordable housing, and increase employment opportunities by implementing the following actions: **(Related to City Program 6d, but specific to home-based businesses)**

- Permit at least 1 licensed day care or nursery school operation where appropriate
- Increase tourism revenues by promoting community events
- Increase opportunities for development of cottage industries / home occupations that are compatible with neighborhood character and environmental constraints
- Permit appropriate and necessary ancillary services to the commercial fishing industry

Responsibility: City Council, City Clerk, and Planning Staff

Time Frame: As feasible, hold annual meetings between the City Council and Business Community.

Funding Source: General Fund

HI-12 Work with the Redwood Coast Regional Center to implement an outreach program that informs families in the city about housing and services available for persons with developmental disabilities. The program could include developing an informational brochure and directing people to service information on the City's website.

Responsibility: City Council, City Clerk, and Planning Staff

Time Frame: Develop an outreach program within two years of adopting the Housing Element to assist persons with development disabilities.

Funding Source: General Fund

HI-13 To ensure that assisted affordable housing remains affordable, the City will monitor the status of all affordable housing projects and, as their funding sources near expiration, will work with owners and other agencies to consider options to preserve such units. The City will also provide technical support to property owners and tenants regarding proper procedures relating to noticing and options for preservation.

Responsibility: City Council, City Clerk, and Planning Staff

Time Frame: Ongoing, as projects approach expiration.

Funding Source: General Fund

H-14 To ensure that the use permit process for multi-family projects does not impact the timing, cost, or supply of multi-family development, the City will modify the process for objectivity and replace the use permit process with the site plan approval process, consistent with Health and Safety Code requirements. The City will also review development standards including, but not limited to, height, lot coverage and density, to ensure they do not constrain the development of housing.

In addition, to comply with new housing laws, the City will rezone sites in the Mixed Use (MU), Opportunity (O), or Planned Development Residential (PDR) zones to allow residential use by-right. This by-right (without discretionary review) requirement is only for housing developments in which at least 20 percent of the units are affordable to lower-income households. **(Related to City Programs 3a and 3c)**

Responsibility: City Council, City Clerk, and Planning Staff

Time Frame: Modify the process and review development standards, and revise as appropriate, by July 2022. Rezone sites zoned Mixed Use (MU), Opportunity (O), or Planned Development Residential (PDR) to allow residential use by-right within 3 years from adoption of this Housing Element.

Funding Source: General Fund

HI-15 The City will review the City's Safety and Conservation Elements and any other General Plan Elements, as required, and ensure compliance with new State Law.

In addition, the city will bi-annually review the effectiveness of the programs in the Housing Element and make revisions as appropriate, including monitoring the effectiveness of programs to accommodate the regional housing need. If programs are not effective in making progress toward the regional housing need, the city will immediately revise strategies and amend the housing element for HCD review.

Responsibility: City Council, City Clerk, and Planning Staff

Time Frame: Review by January 2022, revise as necessary by July 2022. Monitor the Housing Element programs annually and submit to HCD by April 1 each year.

Funding Source: General Fund

- HI-16 To comply with SB 1087, the City as the water provider, will set up a process to grant priority for service allocations to proposed developments that include units affordable to lower-income households. **(Similar to City Program 5b)**

Responsibility: City Council, City Clerk, and Planning Staff

Time Frame: Set up a process by January 2022, ongoing as projects are processed.

Funding Source: General Fund



CITY OF BLUE LAKE

Post Office Box 458, 111 Greenwood Road, Blue Lake, CA 95525
Phone 707.668.5655 Fax 707.668.5916

DATE: July 16, 2021

FROM: Garry Rees, City Planner

TO: Blue Lake Planning Commission

RE: Item 5: Design Standards for the Powers Creek District

As part of the amendments to the General Plan Housing Element and Municipal Code to achieve compliance with State housing policy, the City will be developing objective design standards for the Powers Creek District. For reference, SB 35 defines an "objective" standard as one that involves *"no personal or subjective judgment by a public official and uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant... and the public official prior to submittal."*

For this Planning Commission meeting, city staff would like to discuss the general direction for design standards that staff is considering for application to the Powers Creek District. Attached to this memo are design standards from Kirkland, Washington (see **Attachment 1**) and draft standards that the City is developing based on the Kirkland example (see **Attachment 2**). For this meeting, City staff would like to answer any questions the Commission may have about the draft standards and receive some direction from the Commission about whether these standards are appropriate for the Powers Creek District.

Attachment 1

THE CITY OF KIRKLAND

Kirkland Parkplace Mixed-Use Development

Master Plan and Design Guidelines

Adopted by the City Council pursuant to
Kirkland Municipal Code Section 3.30.040(4), O-4475.
Updated February 17, 2015 and June 7, 2015.

Attest:



Amy Walen,
Mayor



Eric Shields
Director,
Planning & Community
Development

Prepared by CollinsWoerman

February 6, 2015

Amended June 1, 2015



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Acknowledgment: Written content in this document has been excerpted and/or excerpted and edited from the previously approved *Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines* document updated December 16, 2008 as created by LMN Architects.

POLICY OVERVIEW

1. Introduction

Located along Central Way and 6th Street, Kirkland Parkplace has the potential to offer many great amenities to Kirkland's downtown. Parkplace is a 501,000 square-foot property defined as CBD-5A in Kirkland's Zoning code. The proposed mixed-use center includes approximately 1.175 million square feet of development consisting of retail, office, residential, and entertainment uses that are, in effect, an extension of the existing downtown.

PURPOSE

This document includes three major parts: (1) a Policy Overview that establishes a vision, procedure, and design intent; (2) a Master Plan comprised of Development Standards that establish basic programming and site planning requirements; and (3) Design Guidelines that establish detailed design standards for the site and buildings.

These Standards and Guidelines provide structure to help meet the goals outlined in the Comprehensive Plan. A discussion of relevant Comprehensive Plan directives and this document's associated responses can be found in Section 7: *Comprehensive Plan Design Direction*.

PROJECT NAMING

While this document references the site's current name of "Kirkland Parkplace", the property owner may choose to re-brand the development and re-name it to reflect its new brand identity.

2. Vision

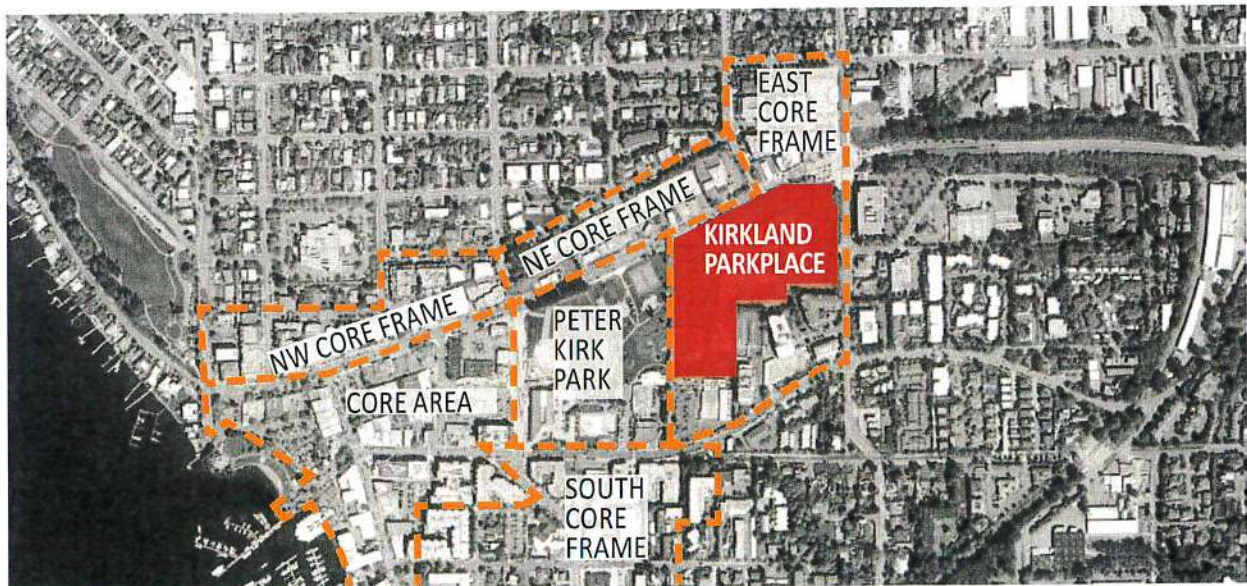
The Kirkland Parkplace Master Plan envisions a transformation of the existing suburban style office park and retail area to a lively, integrated mixed-use center.

Parkplace creates a new destination in Kirkland featuring tree-lined streets, landscaped open spaces, offices and residences overlooking public plazas, and a wide variety of shopping, dining, entertainment, and recreation experiences. Parkplace's contemporary Northwest architecture evokes Kirkland and its environs with green design, appropriate massing, and orientation. Appropriate placement of trees, fountains, benches, street lamps, and decorative sidewalk treatments add a rich texture to Parkplace's plazas and streets.

The combination of pedestrian-oriented streets, distinctive architecture, unique urban character, sensitive integration and progressive sustainable design strategies will make Kirkland Parkplace an attractive and valued gathering place for Kirkland's citizens.

The compact design includes a diversity of spaces for gathering and bustling activity, while maintaining a human scale. This reflects and celebrates the evolution of Kirkland: balancing the need for growth and economic opportunity, but not losing touch with the comfortable, small-town roots of its past.

Kirkland Parkplace is both a home and a destination.



Kirkland Parkplace: Design District 5A, part of the East Core Frame in Kirkland's downtown area¹

3. Application

The Master Plan and Design Guidelines set forth in this document have been created to guide the development of Kirkland Parkplace to meet the intent of the vision for CBD-5A of the City of Kirkland. This Master Plan and Design Guidelines Document allows increased height and reduced setbacks in exchange for providing a mixed-use center and public amenities. These Standards and Guidelines are to be used in addition to the standard zoning regulations for CBD-5A. They are supplemental, not a substitution, to the City of Kirkland Municipal Code and supporting documents.

4. Review Process: Determining Compliance

This document establishes performance criteria and provides recommendations for achieving specific design objectives. Compliance with the Master Plan, including general standards; general public amenity, and access locations; organization of uses; and street dimensional requirements shall be determined by administrative review (planning official). Compliance and consistency with the Design Guidelines shall be determined by the Design Review Board in accordance with KMC 142.35.9. In the DRB's review of the project, the Board shall respect the requirements and commitments established in this Master Plan.

6. Phasing

Depending on market conditions, this development will be staged in three major phases (A, B, and C).

Each independent phase will be designed and built to ensure that, at completion, there are no unsafe or unsightly temporary conditions and that pedestrian connections to and through the site are maintained and/or restored; and functionality of vehicle access and circulation is maintained.

As a condition of design review approval for each phase, the applicant shall demonstrate how these conditions will be satisfied for that phase.

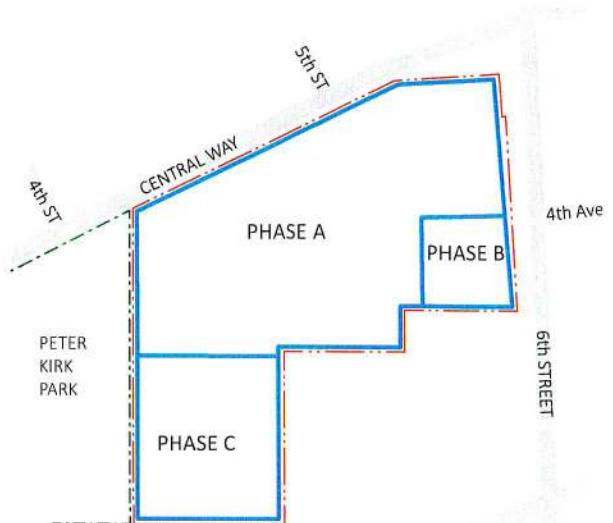
5. Modifications

A major modification to the Master Plan is any proposal that would result in a change that would substantially alter the Plan's proposed development such as: decrease in open space quantity, changes to locations of primary and secondary internal streets, or changes in allowed use. Major modifications to the Master Plan shall require a staff review for consistency with the Comprehensive Plan and City Council approval. (Refer to KMC 3.30.040.)

A minor modification to the Master Plan, reviewed by the Planning Director, is any proposal that would result in a change that would not substantially alter the Plan's proposed development such as: facade treatments, street design variation, character/design detail of public spaces, or minor variations in design of sidewalks, pathways, lighting, and landscaping.

The Design Review Board may grant a design departure or minor variation in the Design Guidelines only if it finds that both of the following requirements are met:

- a. The variation is consistent with the intent of the guideline and results in superior design.
- b. The departure will not result in any substantial detrimental effect on nearby properties or the neighborhood.



Potential project phasing by location. Sequence of phasing to be determined.

7. Comprehensive Plan Design Direction

The City of Kirkland's Comprehensive Plan, Section XV.D, includes several policies and guidelines directly related to the Parkplace site. Four relevant Comprehensive Plan directives and associated responses are included below:

A. CP Policy: *Heights of up to eight stories are appropriate as an incentive to create a network of public spaces around which is organized a dynamic retail destination (CP XV.D-13).*

Response: Parkplace is an urban, open-air retail, restaurant, entertainment, office, and residential complex. (See Section 10 for standards regarding networks of open space, retail frontage, and pedestrian connections.)

B. CP Policy: *Special attention to building design, size, and location should be provided at three key locations:*

- *at the intersection of Central Way and Sixth Street to define and enhance this important downtown gateway;*
- *along Central Way to respond to the context along the north side of street;*
- *and facing Peter Kirk Park to provide a transition in scale to downtown's central green space (CP XV.D-14).*

Pedestrian Connections to adjoining streets, Peter Kirk Park, and adjoining developments should be incorporated to facilitate the integration of the district into the neighborhood (CP XV.D-13).

Response: Specific design guidelines have been defined to encourage unique environments and experiences in each of these three locations. The development standards define pedestrian connection requirements.

C. CP Policy: *Because of the intensity of land use in 5A, the design of the buildings and site should incorporate aggressive sustainability measures, including low impact development measures, deconstruction, green buildings, and transportation demand management (CP XV.D-14).*

Response: The compact development, pedestrian-friendly, mixed-use nature of the land use in CBD-5A is fundamentally sustainable. It provides a live-work balance in downtown Kirkland and provides access to goods and services people need in proximity to where they live. Combined with a commitment to sustainable strategies in the design of the development, Kirkland Parkplace will significantly contribute to lowering carbon emissions and energy use relative to a suburban model of development.

D. CP Policy: *Residential development could be designed to integrate into both the office/retail character of the zone and the active urban nature of Peter Kirk Park (CP XV.D-14).*

Response: The Development Standards provide for up to 30% of building floor area to be devoted to residential use. The proposed residential component will enhance Parkplace's public and retail experience and bring after-hours activity to the development. Residents will have access to a range of services and a direct connection to Peter Kirk Park - all within walking distance.

8. Design Intent

This Master Plan and Design Guidelines document was created using the identified nine Guiding Principles for the project which were derived from input from the City staff, Design Review Board, Planning Commission, various community groups, and the residents of Kirkland.

1. Emotional ownership by the community:
 - Incorporate the project into the story of Kirkland.
 - Enable meaningful community exchanges.
 - Inspire unique experiences and discoveries.
 - Promote the coalescence of Community, Culture, and Commerce.
 - Provide a 'transforming experience' vs. a 'transactional experience'.
 - Include neighborhood retail.
2. Site planning connections:
 - Include public spaces such as plazas.
 - Create clear vehicular access and parking.
 - Create strong emphasis on the streetscape.
 - Support active public spaces.
 - Provide clear and inviting public access.
 - Provide connections to Peter Kirk Park.
3. Create community gathering spaces:
 - Create easily accessible public spaces.
 - Develop spaces that vary in size and offer choices for all ages.
 - Provide safety and comfort.
 - Integrate into the social life of downtown Kirkland.
4. Enhance the pedestrian environment:
 - Promote walkability: network of internal and external pedestrian connections.
 - Create visual interest along the street.
 - Incorporate a rich variety of materials.
 - Provide and enhance pedestrian circulation and retail continuity.
5. Integrate motor vehicle access and parking
 - Minimize the visual presence of parked cars.
 - Allow parking to be utilized during nights/weekends for benefit of community and downtown.
6. A mix of uses = a mix of building types:
 - Create a variety of building types, scales, and materials.
 - Express a three-dimensional quality to the public spaces.
7. Appropriate massing and scale:
 - Create pedestrian spaces with access to sun.
 - Address surrounding edges.
 - Consider scale, massing, and detail of individual buildings.
 - Express human-scale, detailed street level building facades.
8. Sustainability:
 - Establish macro-scale/site sustainable strategies.
 - Pursue building-specific sustainable strategies.
 - Encourage tenant-specific sustainable strategies.
9. Mixed-use development:
 - Provide a residential component to the project that will support the viability of a 24-hour development and complement the other uses on the site.



Children's play area at Peter Kirk Park²

MASTER PLAN: DEVELOPMENT STANDARDS

9. Program Requirements

The following requirements and ratios are established to quantify use types at the completion of the project, and are not a requirement for any single phase.

A. PEDESTRIAN SPACE

The development will include a variety of public open spaces that vary in size and character. A minimum of 15%, or 75,000 square feet, of the site shall be activated pedestrian-oriented space, in the form of courtyards, plazas, etc. See diagram (Section 10.D) for approximate locations and dimensional requirements of specific spaces. Definition of appropriate design treatments are found in the district-specific design guidelines (Section 13).

B. ARTS COMMITMENT

In an effort to encourage integrated art into the project, Parkplace is working in collaboration with representatives from the cultural council and local art community and will identify and create opportunities to integrate art into the project.

C. GREEN BUILDING COMMITMENT

Section V. Natural Environment of the Comprehensive Plan outlines broad goals and policies related to environmental sustainability. Section XV.D of the Comprehensive Plan and Guiding Principle #8 (see Section 8 of this document) describe goals specific to the Parkplace site.

1. In response to these goals and policies, the following requirements will apply to the Kirkland Parkplace project:

- a. All new office buildings will be designed achieve a LEED CS Gold threshold. A USGBC Pre-Certification Application showing points meeting LEED CS Gold will be included with permit submittals to show which points will be pursued.
- b. The multi-family residential building(s) will be designed to a LEED for Homes Multifamily Mid-Rise Silver threshold; or to meet Built Green 4 Star certification.

- c. The applicant shall encourage all potential tenants for Kirkland Parkplace to pursue LEED-CI. To accomplish this, the applicant will create and distribute to tenants a set of Tenant Design Guidelines to show strategies tenants can use to achieve LEED-CI certification. These Tenant Design Guidelines will be made available to the City of Kirkland to inform their ongoing sustainability programs.
 - d. At the end of tenant build-outs of the office space, the applicant shall prepare an executive summary for the City of Kirkland, outlining what sustainability measures were incorporated in the tenant build-outs (unless otherwise restricted by tenant confidentiality).
 - e. In addition, the applicant shall strive to make design choices in its Core and Shell buildings that are conducive to the achievement of LEED-CI by tenants.
2. In the interest of promoting a holistic sustainability approach, the applicant shall strive to integrate site-specific strategies identified as focus areas, such as:
- a. Energy efficiency strategies, like centralized cooling options and heat recovery.
 - b. Low Impact Development (LID) strategies like stormwater planters, vegetated roofs, and bioswales.
 - c. Materials and resource strategies like recycled materials, regional materials, and FSC certified wood.

D. COMMUNITY-SERVING RETAIL AND SERVICES

Include neighborhood-serving retail and services. Possible examples include: grocery, childcare, bookstore, drugstore, dry cleaner, movie theater, barber-shop, shoe repair, etc.

E. PARKING

To guide the transformation described in the Comprehensive Plan from "an auto-oriented center surrounded by surface parking into a pedestrian-oriented center integrated into the community" (CP XV.D-13), the majority of parking for the development shall be placed underground. Surface parking will be provided along selected internal streets and at other selected surface parking locations to support retail uses.

MASTER PLAN: DEVELOPMENT STANDARDS

SITE AREA BREAKDOWN · TOTAL SITE AREA = 501,000 SF = 100%

Building Footprint 40 - 45%	Vehicle Areas 20 - 25%	Open Space 35 - 40%
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OPEN SPACE BREAKDOWN

Sidewalks 20 - 25% of Site	Pedestrian Space: Plazas/Courtyards/Gardens/Elevated Terrace 15 - 20% of site (75,000 sf minimum)	Private Roof Terrace 10,000 sf
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BUILDING USE BREAKDOWN · Approximate 1,175,000 GROSS SF TOTAL = 100%

Commercial Office 650,000 sf	Retail / Fitness / Entertainment 225,000 sf	Residential 250-300 units 300,000 sf
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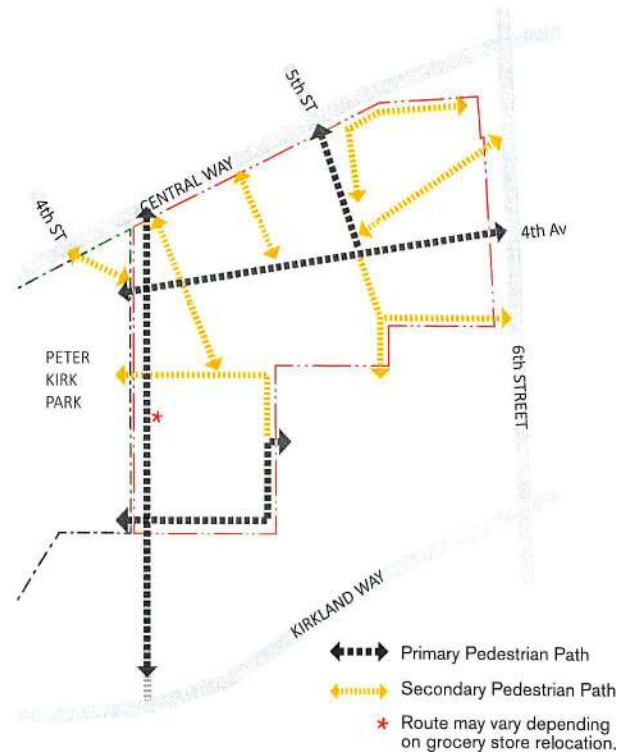
10. Public Amenities, Access, and Organization of Uses

A. PEDESTRIAN CONNECTIONS

Intent: Create a network of identifiable linkages into and through the project site for pedestrians.

The diagram at right shows approximate pedestrian connections. Darker lines indicate primary connections designated by the Comprehensive Plan. Lighter lines show secondary connections linking existing proposed streets as well as Peter Kirk Park. These connections are for public use.

The applicant shall work with the City to define appropriate wayfinding strategies between the development and the Cross Kirkland Corridor.

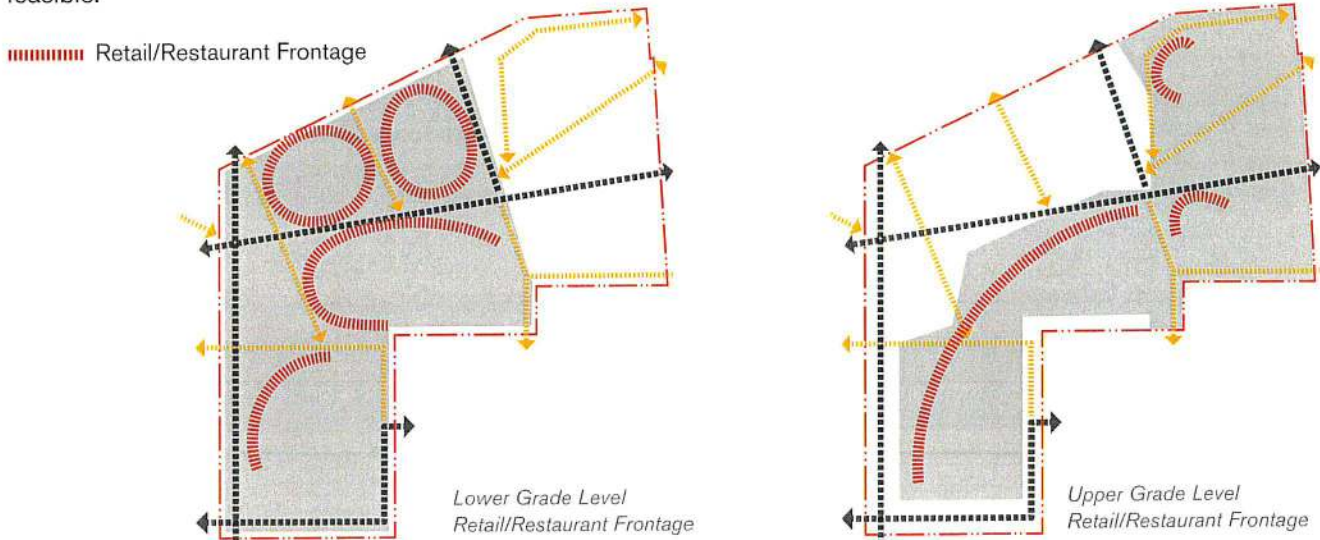


Network of pedestrian connections

B. RETAIL/RESTAURANT FRONTAGE

Intent: Encourage and contribute to the liveliness and activation of primary and secondary pedestrian paths by providing retail and activating uses at ground level.

Predominant retail and other pedestrian-encouraging uses, including shops, restaurants, grocery, health club, and a movie theater are required along pedestrian-oriented streets and public spaces in the approximate locations shown in diagrams below. Additional activating uses are encouraged on the grade level throughout the development where feasible.



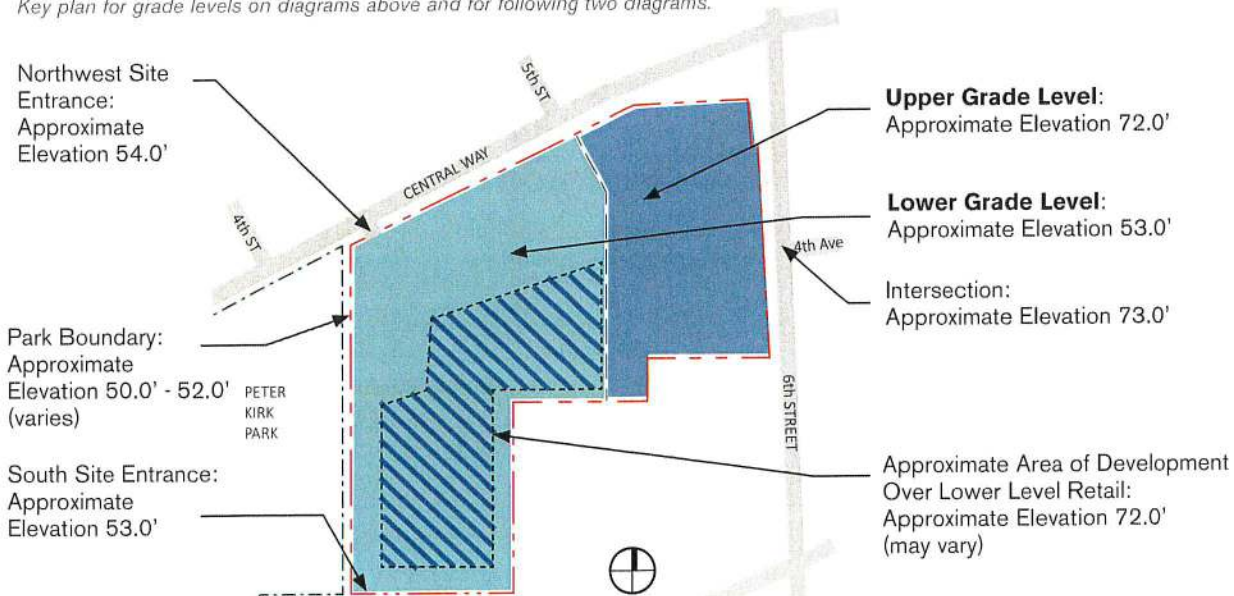
C. ORGANIZATION OF USES

Intent: Locate building and other uses to support the development goals of the project, including: ground floor retail, upper floor office space, residential space, and public gathering spaces between buildings.

The following diagrams describe the approximate locations of various building use types, pedestrian connections, parking, and public gathering spaces.

The key plan below illustrates the two grade levels for the site: *Upper Grade Level* and *Lower Grade Level*. The Upper Grade Level relates to the existing street grades at the intersection of 6th Street and 4th Avenue. The Lower Grade Level relates to Peter Kirk Park and the grades at the northwest site entrance on Central Way.

Key plan for grade levels on diagrams above and for following two diagrams.



MASTER PLAN: DEVELOPMENT STANDARDS

C. ORGANIZATION OF USES: LOWER GRADE LEVEL

BUILDINGS

- A** Retail with entries accessed from internal street; Office above
- B** Retail and Grocery with entries accessed from internal street and/or open space; Office Above
- C** Retail and/or Entertainment; Office above

SITE

- D** Below-Grade Parking
- E** Retail Surface Parking
- F** Pedestrian Space: Plaza/Courtyard/Garden

..... Vehicular and Pedestrian Circulation

..... Pedestrian-Only Circulation

▶ Vehicle Site Access

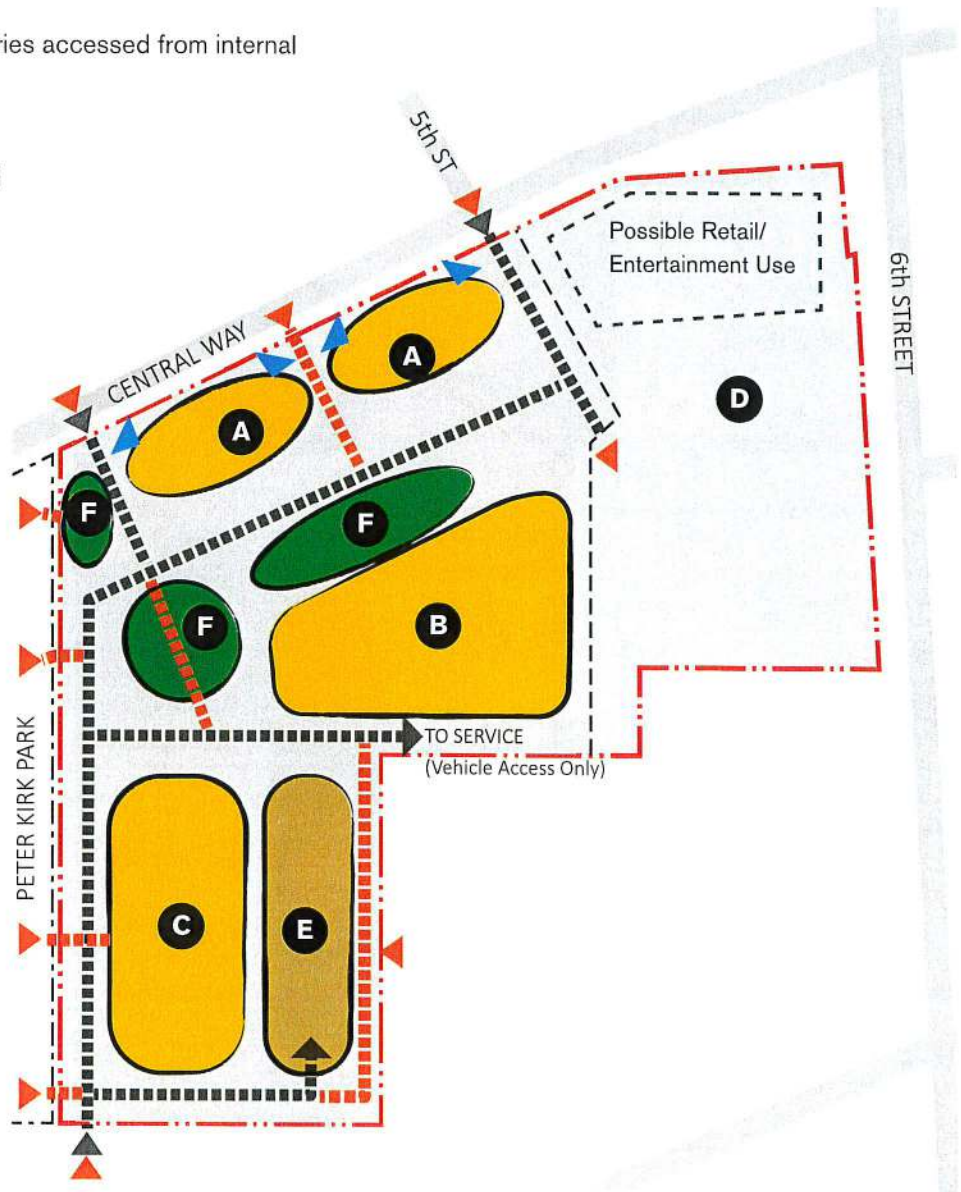
▶ Pedestrian Site Access; Locations to be Determined

▶ Provide visibility into retail or other activating uses at these locations

● Retail

● Outdoor Amenity

● Parking



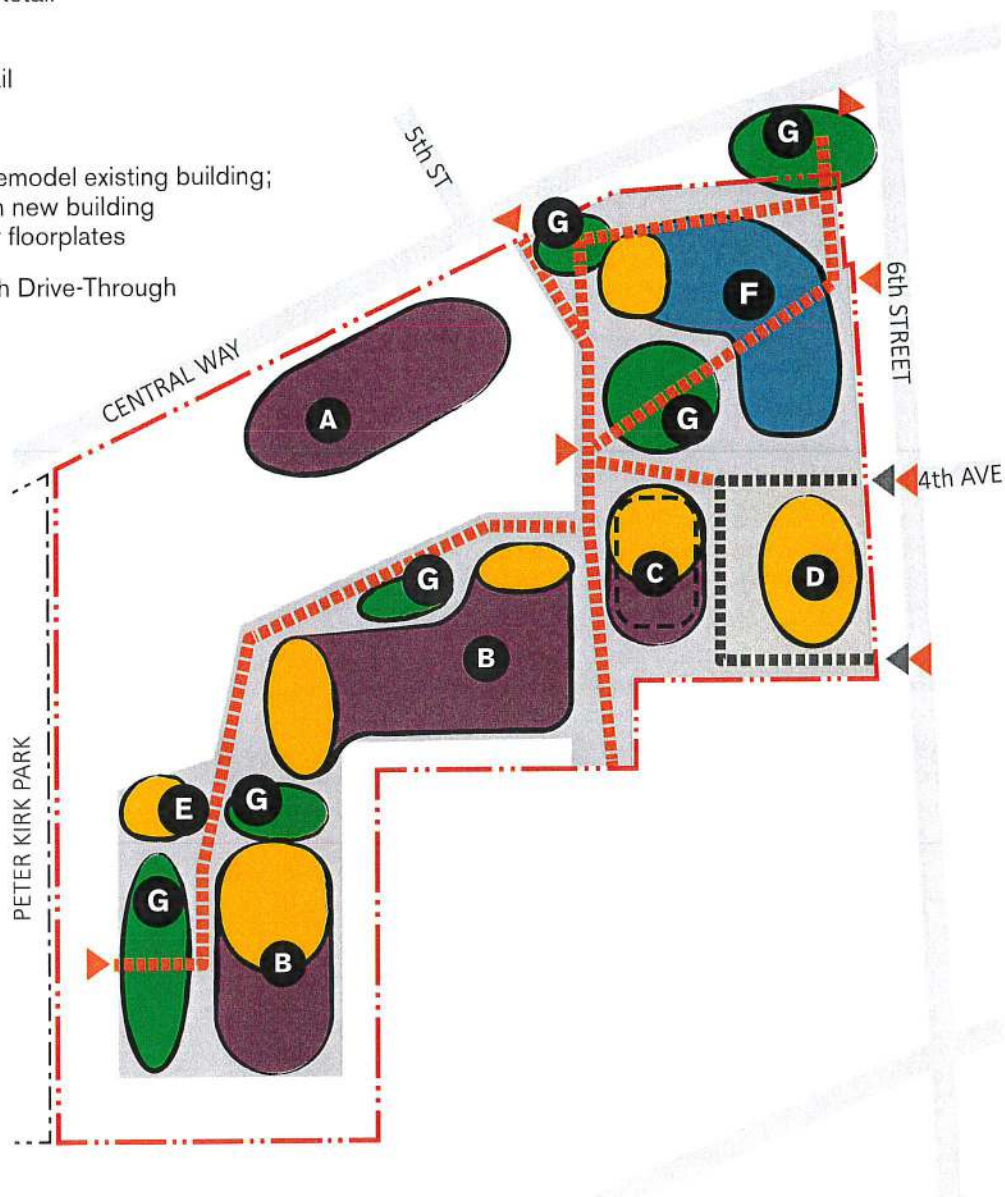
C. ORGANIZATION OF USES: UPPER GRADE LEVEL

BUILDINGS

- A** Office over Lower Level Retail
- B** Office with Ancillary Retail
- C** Office with Retail;
Options: 1) Retain and remodel existing building;
2) Replace with new building
having larger floorplates
- D** Retail: Possible Bank with Drive-Through
- E** Possible Retail
- F** Residential with
Retail at Base

SITE

- G** Pedestrian Space:
Plaza/Courtyard/
Garden/Elevated
Terrace
- Vehicular and
Pedestrian Circulation
- Pedestrian-Only
Circulation
- ▶ Vehicle Site Access
- ▶ Pedestrian Site Access
- Retail
- Outdoor Amenity
- Office
- Residential



MASTER PLAN: DEVELOPMENT STANDARDS

D. PEDESTRIAN SPACE

Intent: Provide a functional and diverse pedestrian environment by creating a variety of usable pedestrian open spaces.

The following types of public/pedestrian space are to be provided at a minimum of 15% of the total lot area, or 75,000 square feet. Locations are approximate and not limited to those shown on the diagram at right.

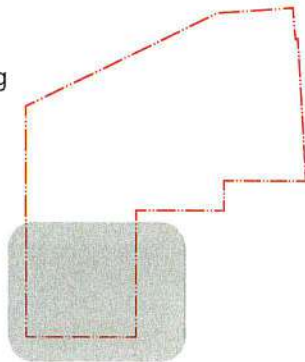
- a. Primary plaza:** shall have a minimum area of 10,000 square feet with a minimum average width of 60 feet.
- b. Main Street plaza:** a linear sequence of pedestrian spaces along Main Street retail shall have locations with a minimum 35-foot plaza depth from building face to curbline. (This does not include roadway. See 11.4 for building face to building face dimensional requirements along Main Street.)
- c. Upper Plaza:** shall include a combination of landscaping and hardscaping with a minimum area of 10,000 square feet.
- d. Northwest Entry Garden:** shall be predominantly landscaped and an extension of Peter Kirk Park.
- e. Smaller courtyard/plazas:** shall have a minimum area of 2,500 square feet each. (not illustrated in diagram at right)
- f. Elevated terraces:** shall provide a minimum of 10,000 square feet total of publicly accessible pedestrian space at the Upper Grade Level. (See 10.C.)

See district specific guidelines for design parameters of public space (ex. plazas, Section 13.D).

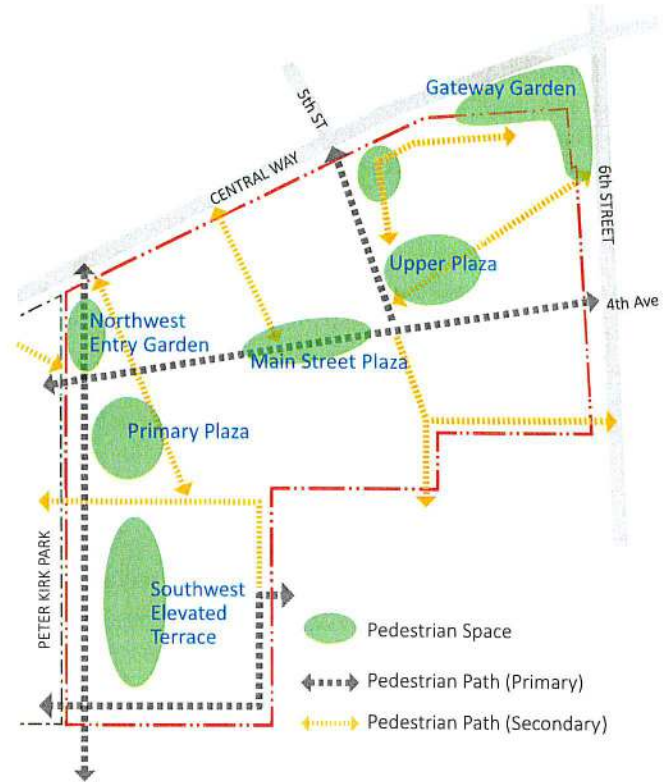
E. SPECIAL SETBACKS AT SOUTH PORTION OF SITE

Buildings located in the southern most portion of the site should provide generous and substantial setbacks, building step backs, and modulation in response to their proximity to neighboring buildings. Setback and height requirements are described in the diagram at right.

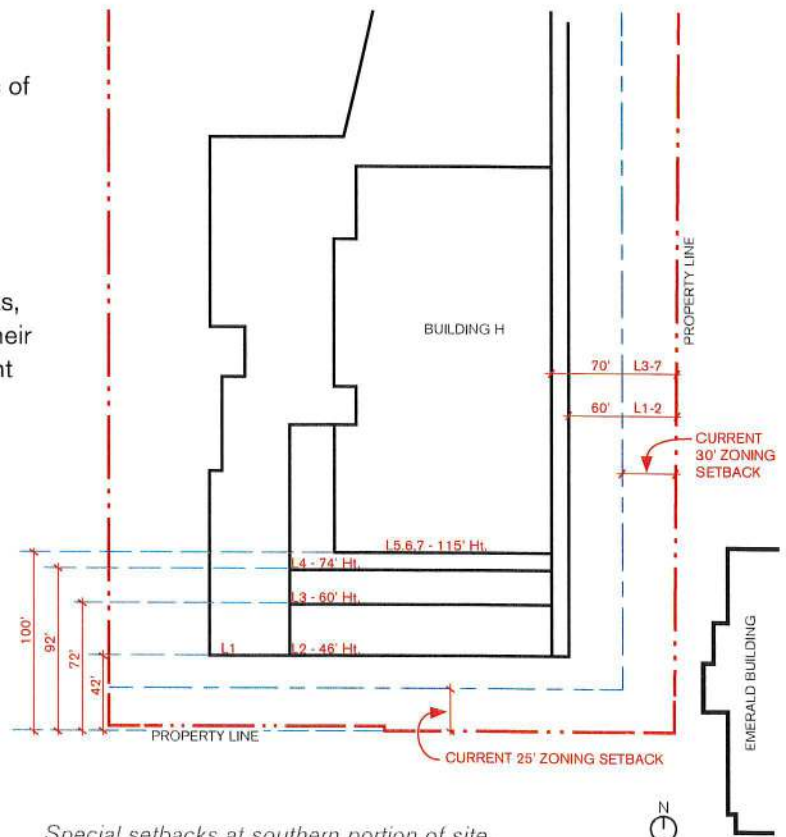
Heights shown in diagram shall be measured per zoning code regulations.



Key Plan: Area described in Section 10.E and in diagram at right.



Distribution of pedestrian spaces: along paths, between buildings, and on elevated terraces. Locations are illustrative and subject to change.



Special setbacks at southern portion of site.

11. Street Classification

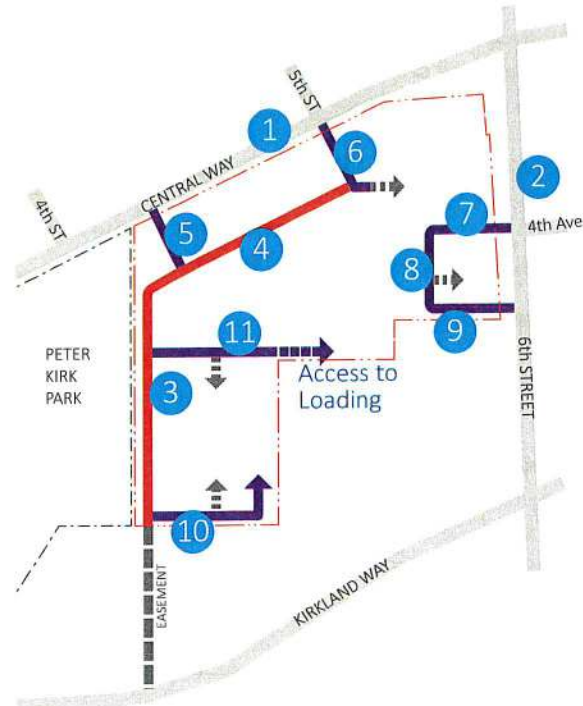
Intent: Create a street and sidewalk network that responds to the existing Kirkland grid pattern, creates a pedestrian-oriented environment, and allows for direct interaction with Peter Kirk Park.

The following street classifications and diagrams represent the various types of streets and approximate locations anticipated in the project. Final location and classification of streets may be adjusted in the final design to include such design techniques as: tight turning radii to calm traffic, curb bulb outs, textured crossings, etc. Access shall be in compliance with city codes and polices for public improvements and emergency access.

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, street furniture, structural constraints, etc.

Planting adjacent to parking or drive lane may consist of tree wells level with sidewalk or planting strips which are flush with sidewalk or raised above sidewalk. Where tree wells occur, provide minimum 12'-0" total sidewalk width including tree wells, with minimum sidewalk width of 8'-0" and tree well width of 4'-0" (except as noted on street sections).

Where continuous planting strips are provided in lieu of street tree wells, provide minimum 10'-0" sidewalk and 4'-0" minimum planting strip (unless noted otherwise).



⇨⇨ Indicates Possible Access to Below-Grade Parking

ADJACENT PUBLIC STREET IMPROVEMENTS

- 1 Central Way
- 2 6th Street

PRIMARY INTERNAL STREETS

- 3 Park Promenade
- 4 Main Street

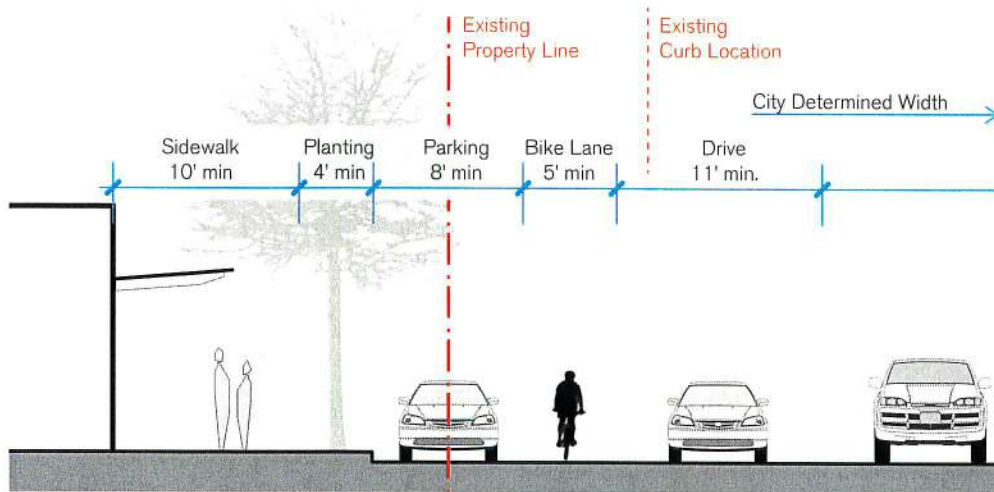
SECONDARY INTERNAL STREETS

- 5 Access Street at Central Way near 4th Street
- 6 Access at Central Way near 5th Street
- 7 Access at 6th Street
- 8 Upper Level Internal Street
- 9 Possible Parking/Service Access at 6th Street
(Dependent upon traffic study, design of Upper Level, and access to below-grade parking)
- 10 Access Street at Southern Property Line
- 11 Parking/Service Access

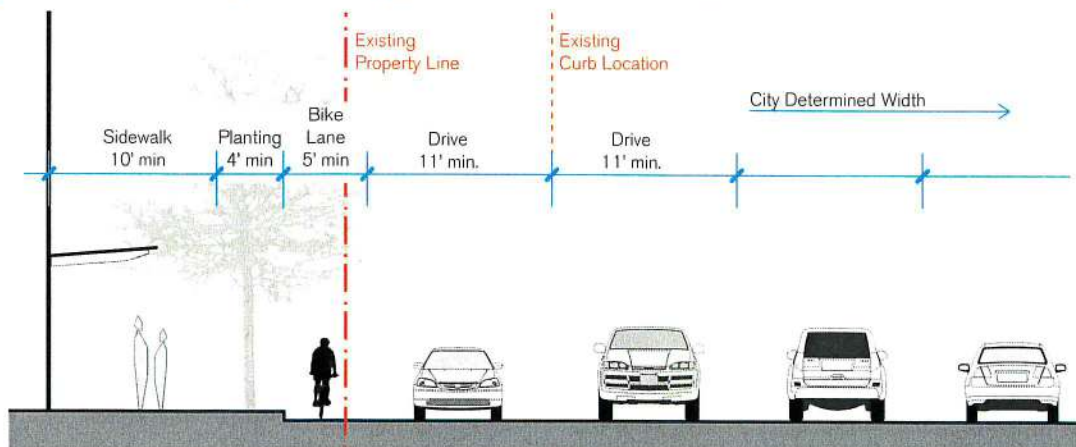
ADJACENT PUBLIC STREET IMPROVEMENTS



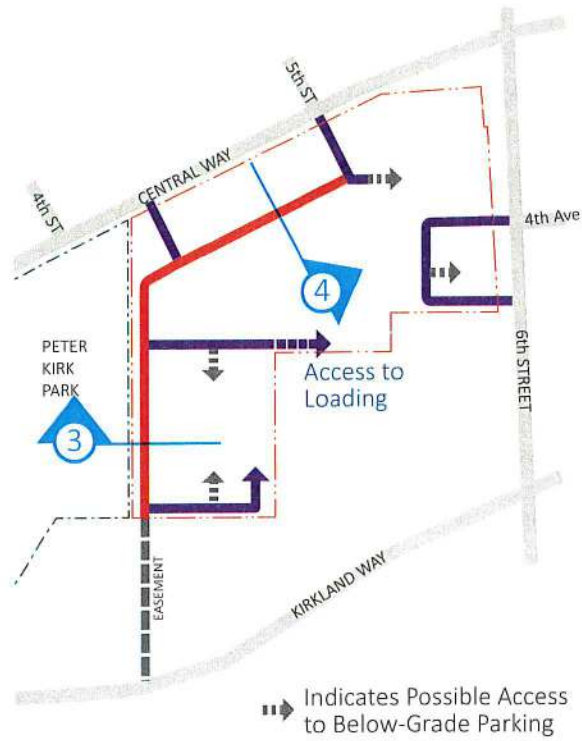
1 Central Way Frontage Section (typical)



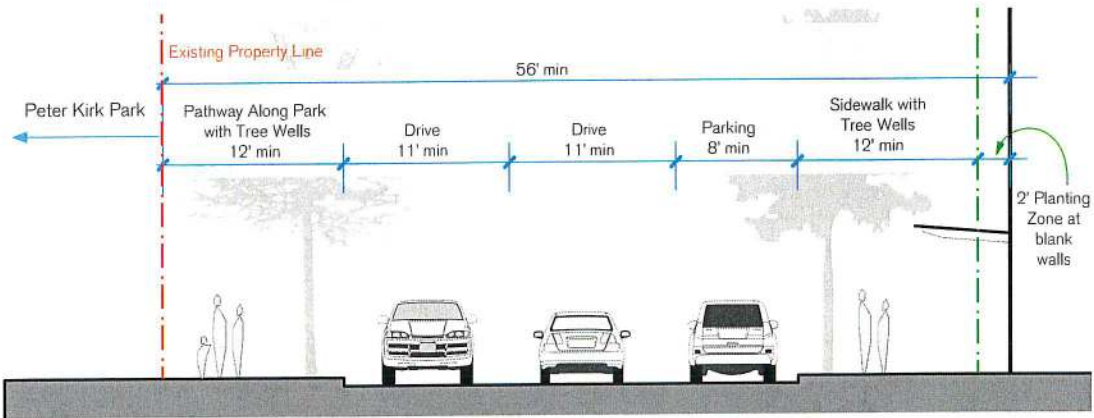
2 6th Street Frontage Section (typical north of 4th Avenue)



PRIMARY INTERNAL STREETS

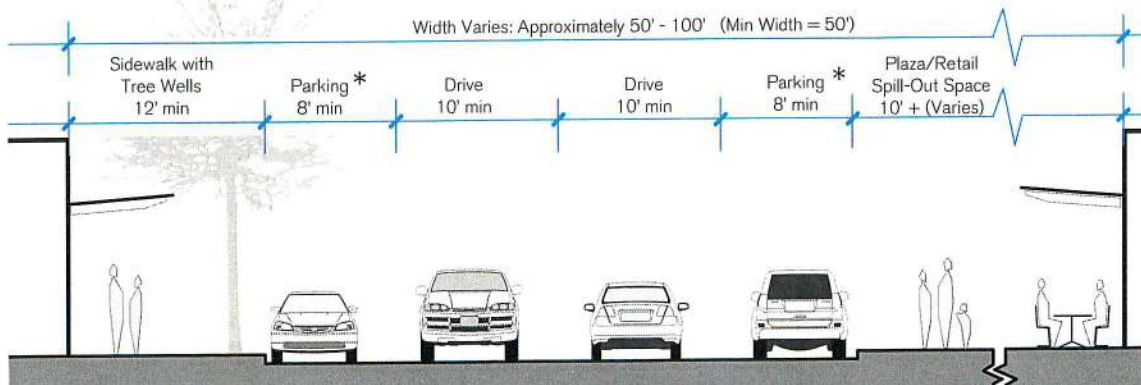


3 Park Promenade Section (typical)



The existing easement to the south shall include a pedestrian sidewalk connecting the Park Promenade with Kirkland Way.

4 Main Street Section (typical)

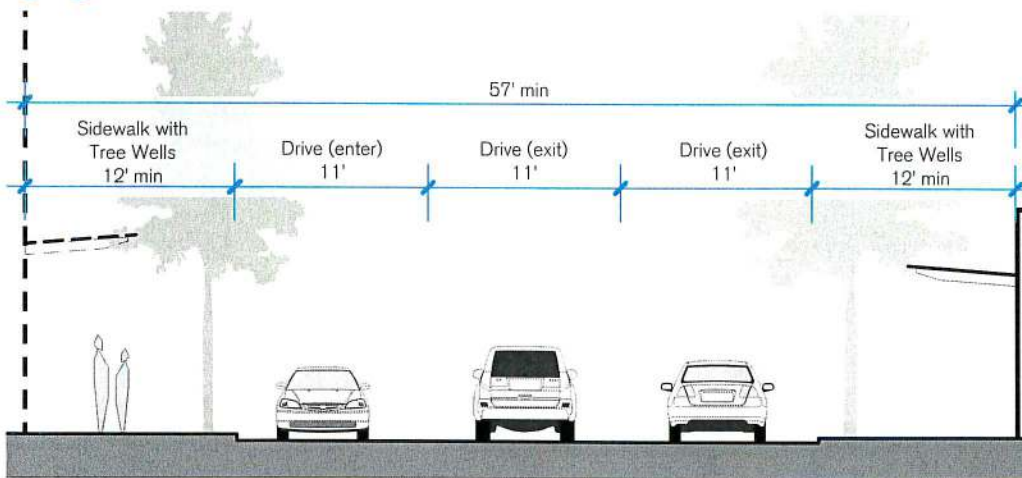


* Curbside parking may occur on one or both sides of the roadway.

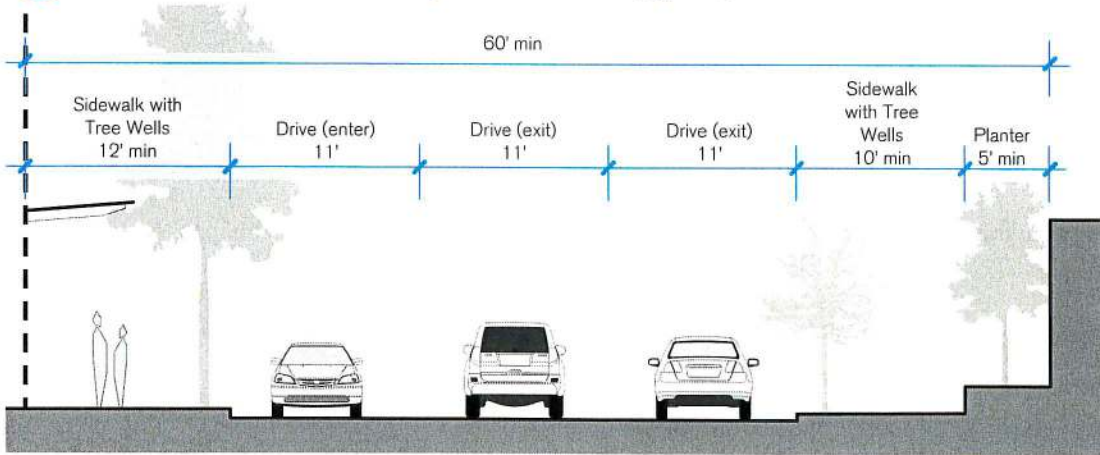
MASTER PLAN: DEVELOPMENT STANDARDS

SECONDARY INTERNAL STREETS

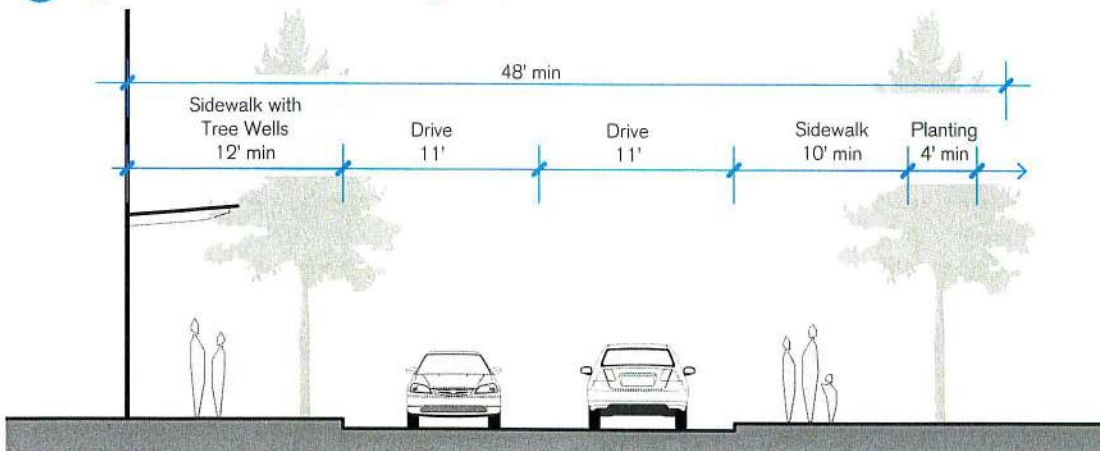
5 7 Access Streets at Central Way, 6th Street (typical)



6 Access Street at Central Way and 5th Street (typical)



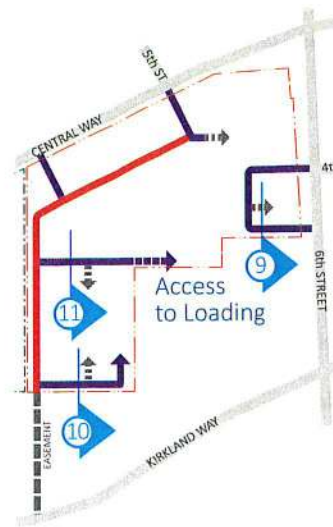
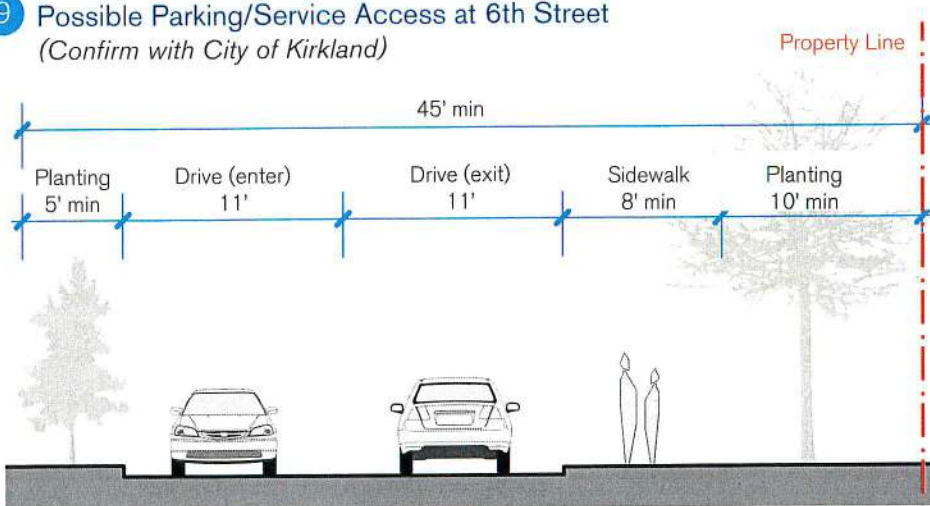
8 Upper Level Internal Street (typical)



KIRKLAND PARKPLACE MIXED-USE DEVELOPMENT: MASTER PLAN & DESIGN GUIDELINES

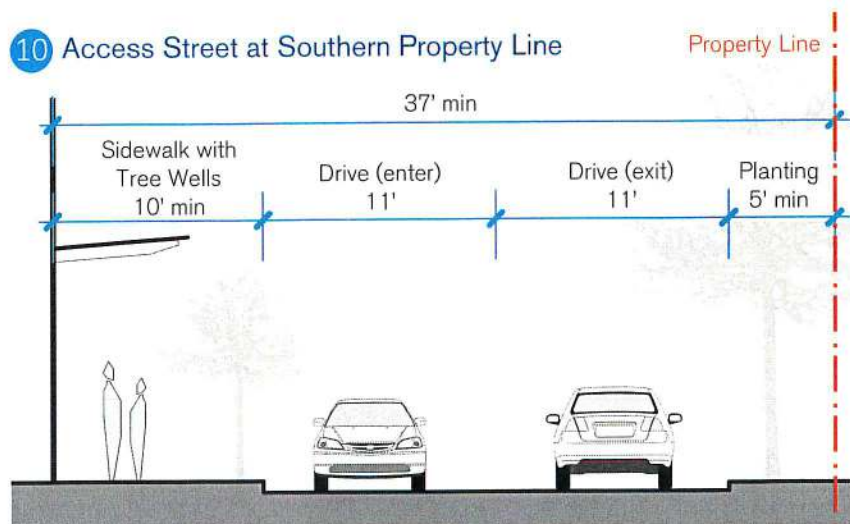
SECONDARY INTERNAL STREETS

9 Possible Parking/Service Access at 6th Street (Confirm with City of Kirkland)

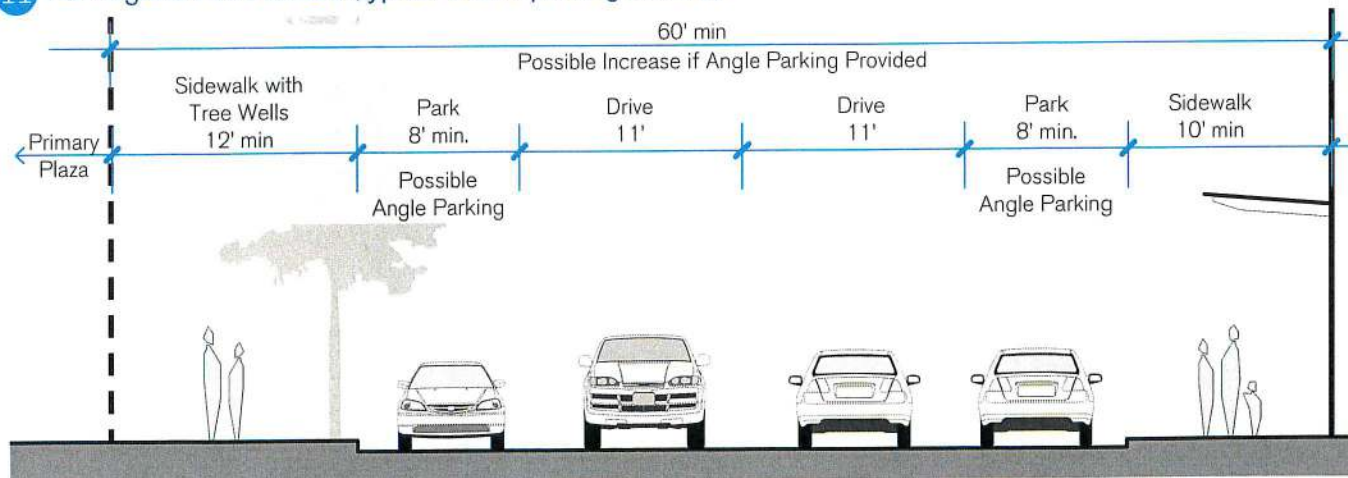


⇨⇨ Indicates Possible Access to Below-Grade Parking

10 Access Street at Southern Property Line



11 Parking/Service Access (typical where parking occurs)



DESIGN GUIDELINES

The Guidelines in Section 12 apply to all districts. Section 13 identifies Guidelines that are district-specific and respond to key locations defined in the City's Comprehensive Plan as requiring special attention. These design districts are defined in the diagram at left.

12. Design Guidelines: All Districts

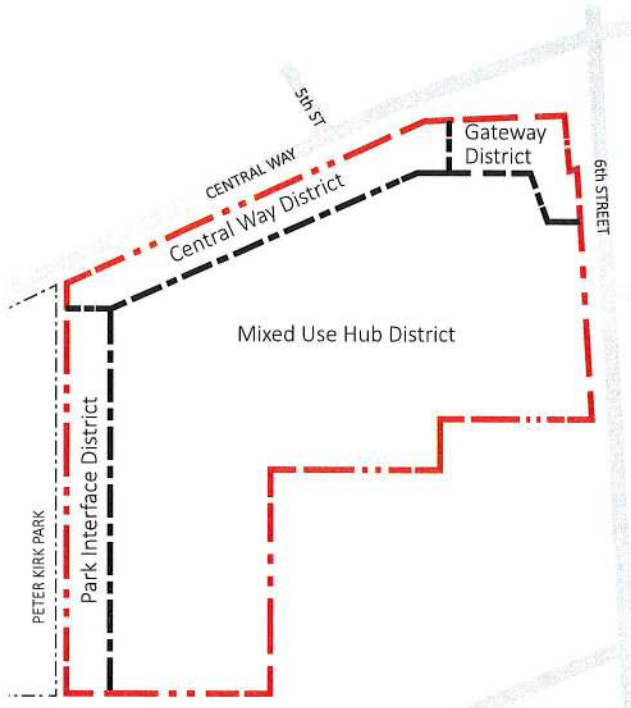
Overall Intent: Create a rich pedestrian-oriented environment and successful mixed-use center.

SITE PLANNING

1. STREETScape

Intent: Maintain a continuous and safe streetscape with a pedestrian-friendly character.

- a. Sidewalks should maintain at least an 8 ft clear zone for pedestrian travel (except as noted in street sections).
- b. All streets should contribute to the physical safety and comfort of pedestrians. Provide the following where feasible to help define the sidewalk space:
 - on-street parking (see street classifications)
 - a well-defined amenity zone set to the curb for plantings, street trees, benches, trash receptacles, signs, etc. (Minor deviations for street trees and major planting spaces may be necessary in some spaces due to structural constraints.)
 - wide enough sidewalk space to accommodate outdoor seating where restaurants are anticipated
- c. Use design elements such as separate storefronts, pedestrian-oriented signs, exterior light fixtures, awnings and overhangs to add interest and give a human dimension to street-level building facades.
- d. In general, buildings with active ground floor uses should be set as close as possible to sidewalk to establish active, lively uses. Maintain a continuous street wall, limiting gaps to those necessary to accommodate vehicular and pedestrian access.
- e. Encourage recessed main building and/or shop entrances consistent with a traditional "main street" design that is inviting and promotes street-scape continuity.



Key Plan: on-site district locations



Pedestrian-friendly character: on-street parking; amenity zone with street trees, signs, light fixtures; wide sidewalk to accommodate outdoor seating.

- f. The corners of buildings located at street intersections may recess to promote visibility and allow for a collection of people.
- g. Allow larger buildings to recess from the sidewalk edge to allow for entry forecourts, provided street continuity is not interrupted along the majority of the block.

2. PUBLIC SPACES: PLAZAS, COURTYARDS, TERRACES, AND GARDENS

Intent: Provide a friendly pedestrian environment by creating a variety of usable and interesting public and semi-public open spaces.

- a. Make plazas and courtyards comfortable for human activity and social interaction – standing, sitting, talking, eating, etc.
- b. Define and contain outdoor spaces through a combination of building and landscape. Oversized spaces that lack containment are discouraged.
- c. Establish pedestrian pathways that link public spaces to other public spaces and streets. These should be clearly identifiable for easy wayfinding.

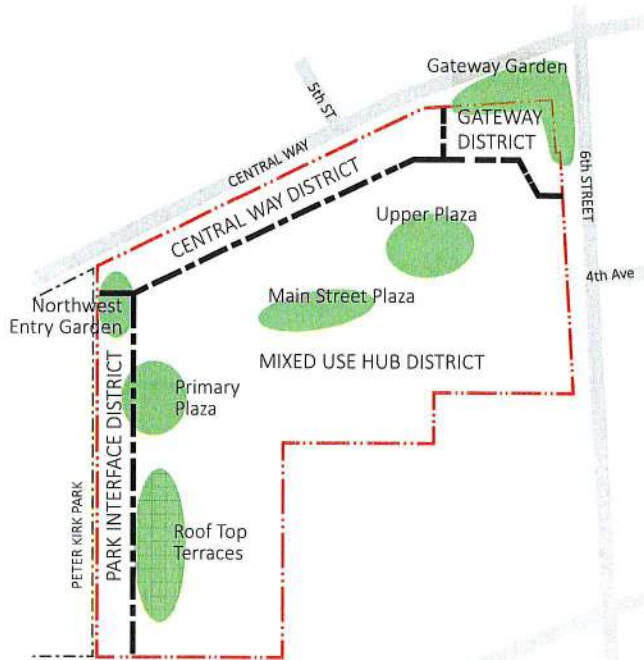
Public Spaces: plazas defined by pathways and buildings include amenities such as water features, sitting spaces, landscaping, and changes in materials, colors, and textures



Street bench, plantings, and recessed corner entry



DESIGN GUIDELINES



Possible Organization of Pedestrian/Public Spaces as Related to Districts

- d. Plazas and courtyards should include the following:
 - planters and trees to break up space
 - seating, such as benches, tables, or low seating walls
 - special paving, such as integral colored/stained concrete, brick, or other unit pavers
 - specialty pedestrian scale bollards or other types of accent lighting
 - at least one of: public art and/or water feature
- e. Design spaces to allow for variety and individualization of temporary installations such as: lighting, banners, artwork, etc.

3. ENVIRONMENTAL CONSIDERATIONS

Intent: Optimize pedestrian comfort using natural environmental conditions. Promote a pedestrian- and bicycle-friendly atmosphere.

- a. Consider environmental conditions such as sun, shade, and prevailing winds when positioning courtyards and outdoor seating areas. Provide features and amenities to enhance pedestrian and bicycle access throughout the project.

4. PEDESTRIAN CONNECTIONS AND WAYFINDING

Intent: Create a network of safe, attractive, and identifiable linkages for pedestrians.

- a. Provide clearly defined pedestrian connections at locations specified in the Pedestrian Spaces and Street Classification sections.
- b. Provide graceful grade transitions - both physical and visual - between upper grade and lower grade levels through the use of: landscaping, terraced planters, overlooking balconies, wide and inviting stairways, and other pedestrian connections.



Plaza with special paving, seating, planters

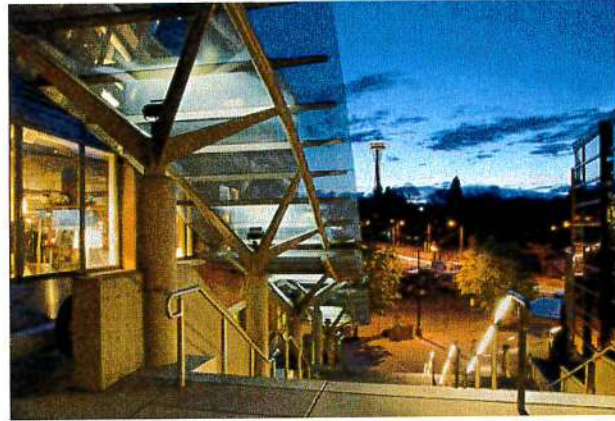


Pedestrian and bicycle amenities (left); Wayfinding signage and clearly defined pedestrian connections (center and right)

5. LIGHTING

Intent: Ensure that lighting contributes to the character of the project, provides personal safety, and does not disturb adjacent developments and residences.

- a. Use city-approved fixtures for street lighting along the city streets.
- b. Lighting elements throughout the project and on adjoining rights of way should be coordinated, including public open spaces, accent lighting, and streets.
- c. Accent lighting along public right-of-way should be soft in character and enrich the pedestrian street life.
- d. Accent lighting within the central pedestrian space should be congruous with the character of the project and with the arts and pedestrian space commitments. (See Section 9.)
- e. Lighting should include non-glaring design, such as cut-off fixtures that avoid light spilling over onto other properties.
- f. Flood lighting of entire building facades is discouraged.
- g. Lighting on upper levels should be sensitive to Peter Kirk Park, residences, and drivers.



Integrated lighting enhances architectural character and provides pedestrian safety

6. SCREENING OF TRASH AND SERVICE AREAS

Intent: To screen trash and service areas from public view.

- a. All service, loading, and trash collection areas shall be screened by a combination of planting and architectural treatment similar to the design of the adjacent building.
- b. Avoid wherever possible locating service, loading, and trash collection facilities in pedestrian-oriented areas.



Architectural and landscape elements provide screening



7. SIGNS

Create a Master Sign Plan that is in keeping with the following design objectives:

Intent: Create signs that are creative, engaging, and effective for a variety of user groups and respond to a variety of spaces.

- Signs should be complementary and integrated with the unique character of the specific areas or buildings where they are located.
- Signs should be high quality and consistent with the contemporary urban character of comparable developments in similar regions.
- The design of buildings should identify locations, sizes, and general design for future signs.
- The Master Sign Plan should include a hierarchy of elements based on function, such as:
 - site signs for entries, wayfinding, Parkplace identity
 - building signs for addressing and landmarking
 - tenant signs to encourage expressive individualization

A hierarchy of sign functions: site signs for entry and wayfinding (left), building signs for landmarking (below left), and tenant signs that express individual character (below center³ and right)



BUILDING DESIGN

1. ORIENTATION TO THE STREET

Intent: Ensure that buildings contribute to the liveliness of Parkplace's public spaces, and overall community character.

The following design treatments should apply to areas where retail frontages occur:

- a. Streets and public spaces should be enlivened by storefronts, windows, merchandise and other activity. Buildings should be designed with frequent entrances to encourage multi-tenant occupancy and walk-in traffic.
- b. Ground level retail heights should be a minimum of 14 feet in height.
- c. Entrances: Principal building entry should be visible from internal or external streets and public space. Entries should be marked by large entry doors and/or canopy/portico/overhang.
- d. Transparency: To help provide a visual connection between activities, ground floor facades should provide:
 - windows of clear vision glass (i.e. transparent) beginning no higher than 2' above grade to at least 10' above grade,
 - 60% minimum of facade length along Central Way, and the internal Main Street, should provide transparency,
 - For all uses except garage, 50% minimum of facade length along access streets from Central Way to the site should provide transparency.
- e. Weather Protection: To provide pedestrians cover from weather, canopies or awnings should be:
 - a minimum of 5 feet in width unless in conflict with vehicles,
 - placed along at least 75% of facades of retail frontages, and constructed of durable materials,
 - allowed to vary in design,
 - encouraged to have continuity, minimizing gaps.



Retail frontages with wide sidewalks, transparency, visible entries, and weather protection



Articulation, massing, and diversity to maintain a pedestrian scale.

2. MASSING/ARTICULATION

Intent: Create a variety of form and massing through articulation and use of materials to maintain a pedestrian scale.

- a. In general, break down the scale and massing of larger buildings into smaller and varied volumes.
- b. All building faces should be responsive to the context of the surrounding environment and neighboring buildings.
- c. Design all sides of the building with care (i.e. there should be no "backside" of a building.)
- d. Buildings should distinguish a "base" using articulation and materials. Include regulating lines and rhythms to create a pedestrian-scaled environment.
- e. Provide clear pattern of building openings. Windows, balconies, and bays should unify a building's street wall and add considerably to a facade's three-dimensional quality.
- f. Ribbon windows and extensive use of mirrored glass are discouraged.
- g. Employ major architectural expressions into the facade, roof form, massing, and orientation, such as tower forms, oversized windows, and entrances to demarcate gateways and intersections. Strong corner massing can function as a visual anchor at key locations within the project area.
- h. Building modulation should be employed to break up long facades and create a visual interest unique to each building in the project. The type of modulation should be determined by the overall design concept for each building, using dimensions from window sizes, column spacing, rain screen paneling, etc. to determine a distinct design solution.
- i. Roof Silhouettes: Express roofs in varied ways. Consider potential views of roof tops from adjacent buildings. Avoid monotonous design.
- j. Locate and/or screen rooftop equipment so that it is not visible from public spaces. Integrate rooftop screening into building's form.

3. BLANK WALL TREATMENTS

Intent: Reduce the visual impact of blank walls by providing visual interest.

- a. Although blank walls are generally not encouraged along public streets and pedestrian spaces, there may be a few occasions in which they are necessary for functional purposes. Any blank walls longer than 20 feet should incorporate two or more of the following to provide visual interest:
 - vegetation, such as trees, shrubs, ground cover and or vines adjacent to the wall surface
 - artwork, such as bas-relief sculpture, murals, or trellis structures
 - seating area with special paving and planting
 - architectural detailing, reveals, contrasting materials, or other special visual interest



4. ENCOURAGE HIGH-QUALITY DESIGN

Intent: Ensure that all buildings in the project area are constructed as a quality addition to the Kirkland Community.

- a. Exterior architectural design and building materials should exhibit permanence and quality appropriate to Kirkland's urban setting.



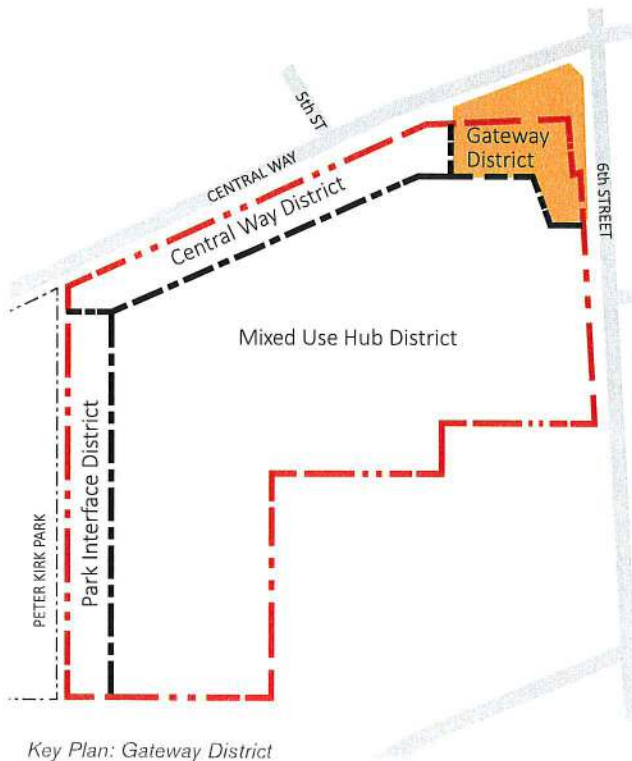
5. BUILDING DIVERSITY

Intent: Ensure that buildings in the project are distinct and respond to the unique character of their specific function and location.

- a. Buildings should be designed to integrate with each other, while demonstrating architectural diversity. Buildings should be responsive to each specific district and its site conditions.
- b. Materials should be selected to integrate with each other and to help provide a richness of architectural diversity.
- c. Windows should incorporate variation of patterning between buildings.



Vegetation, art, and screening provide visual interest at blank walls (center image ⁴)



13. Design Guidelines: District-Specific

A. GATEWAY DISTRICT

Intent: Create a welcoming feature to Parkplace and to downtown Kirkland. This area should create an inviting entryway that is representative of the community through the use of art, landscape, and architecture.

SITE PLANNING

1. Incorporation of Triangular Lot "Gateway Garden": Incorporate the northeast triangular lot (excess right-of-way) into the project design to create a distinct gateway entrance that is integrated with the Parkplace development. Include:
 - a. Public Access: Public access into the site should be visible and accessible from the corner of 6th Street and Central Way.
 - b. Hardscape/Vegetation: Paving and landscaping materials should identify pedestrian spaces and access.
 - c. Trees and Other Planting: Landscaping should be of appropriate scale and species to make a significant gateway gesture. Trees should be selected to provide visibility of businesses and maintained to encourage proper growth and height.
 - d. Signage (downtown entry): Incorporate wayfinding signage directing visitors to Downtown, Peter Kirk Park, Waterfront/Marina, City Hall, and Civic District.
2. Public Space Connecting to Triangular Lot: Design of additional public space should be integrated with the triangular lot to provide a congruous pedestrian environment.
 - a. Public Access: Connect pedestrian access to the gateway garden, adjacent streets, and public open spaces.
 - b. Hardscape/Vegetation: Paving and landscaping materials should identify pedestrian spaces and access.
 - c. Seating: Incorporate seating along pedestrian pathways and gathering spaces.
 - d. Artwork: Incorporate art in an appropriate scale to distinguish the significance of this corner.



Distinct corner treatments: provide identity for the development and integrate pedestrian hardscape, landscaping, seating, and art

3. Pedestrian Connection: Create a pedestrian connection from the corner of 6th and Central into the heart of the project. (See Section 10.A.) This connection will include the following:
 - a. Pedestrian weather protection
 - b. public connection from 6th to the interior of the site open during regular operating hours
 - c. pedestrian lighting
 - d. seating

and may include:

 - e. enclosed public space
 - f. retail/restaurant uses
 - g. covered play/activity space
4. Buildings should be separated from or differentiated from each other at this corner so that they are not perceived as one building.

BUILDING DESIGN: BUILDING AS GATEWAY

1. Ground Level Treatment

- a. Setbacks from Streets - The ground floor levels of the corner building should be permitted to set back to allow for cut away view and obvious pedestrian connection into the site.
- b. Active and Inviting - Design for an engaging pedestrian experience along ground floor of the building.
- c. Details Visible at Different Movement Speeds - Incorporate details in the building along the corner that bring visual interest at the pedestrian level, as well as for vehicular traffic entering Kirkland.

2. Upper Levels

- a. Change of Expression/Material Choices: A clear visual division between upper and lower floors should be incorporated through a change in materials, colors, and forms.
- b. Modulation and Building form: Modulation and shifts in the building mass should be incorporated to decrease the apparent bulk of the building at the corner of Central Way and 6th street. Modulation of building facades should include setting back portions of the building in order to reduce the apparent length. The buildings should respond to the corner condition by shifts and/or angles in the building floor plate.
- c. Step backs: The upper level (or levels) should step back significantly from the floor below to reduce the apparent height of the building at the intersection of Central Way and Sixth Street.



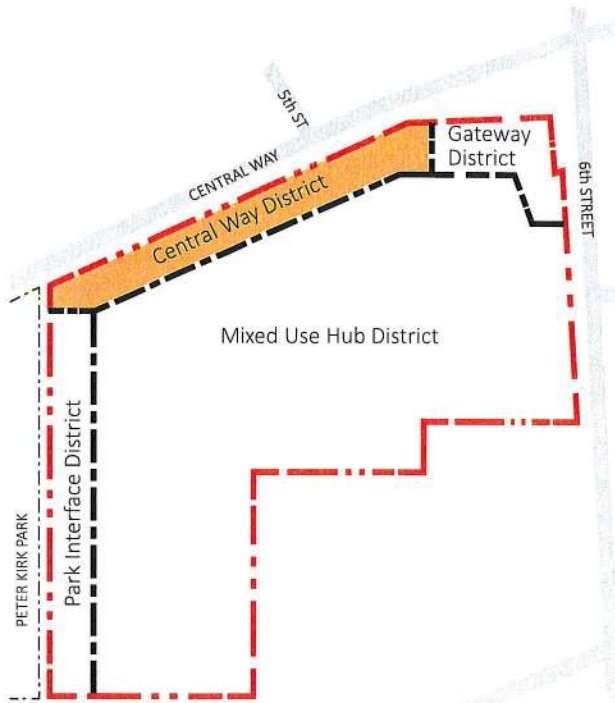
Building modulation, clear visual distinction between upper and lower floors, and details visible at different speeds



Ground floors set back to provide pedestrian connection to site



Changes of expression at upper floors, modulation, angled building floor plate, and step backs



Key Plan: Central Way District

- d. Top Floor/Roof Edge: should have a distinct profile against the sky through elements such as projections, overhangs, cornices, step backs, trellises, changes in material, or other elements.
- e. Accent Lighting: The innovative use of accent lighting incorporated into the building facade is encouraged. Lighting should include non-glaring design solutions such as cut off fixtures that avoid light spilling over onto other properties. Flood lighting of entire building facades is discouraged.

B. CENTRAL WAY DISTRICT

Intent: Respond to Central Way as a major arterial linking downtown Kirkland with areas east and beyond. Parkplace must take advantage of this traffic volume to help create a multi-functioning, pedestrian-scale street that brings visual activity to the street edge.

SITE PLANNING

1. Encourage connections and activate the street edge by incorporating:
 - on-street parking along Central Way
 - buildings located up to the edge of the sidewalk
 - storefront entrances
 - visibility into buildings in order to engage pedestrian interest
 - generous sidewalk amenity zone (trees, lights)
 - street tree selection and spacing that provide visual continuity, buffer pedestrians from the busy street, and allow visibility of retail
 - pedestrian signage
2. Reduce the length of street wall by pulling back portions of the building at ground level from the street edge in key locations provided street continuity is not interrupted.
3. Include a pedestrian-only connection from Central Way into the interior of the project. Pedestrian access along this route should include pedestrian-scaled lighting and a clear connection to the streetscape/plaza space on the opposite side.
4. Activate building corners with visibility into retail and/or other inviting design features, as denoted on *Organization of Uses* diagram (page 10).



Building corners articulated with glazing, canopies, and special paving



Upper levels set back from base at western edge of office building; ample glazing and canopies enhance pedestrian experience



Two-story pedestrian pass-through to promote physical and visual connections, and to reduce apparent building bulk at grade level

BUILDING DESIGN

1. Reduce apparent bulk of buildings along Central Way by incorporating elements such as step backs and modulation, along with shifts or angles in the building mass. Differentiate the upper portion of the building from the lower by setting the upper floors back from the building base on the western and eastern ends of the building. The step backs should create roof terraces that overlook Central Way and the interior of the site. Balconies, terraces, and landscaping are encouraged in upper level step backs.
2. The upper floor of buildings facing Central Way should step back from the floors below and incorporate a change in materials or expression to clearly differentiate the upper floor and reduce the overall visual impact of the building.
3. Facades that are stepped back should be distinguished by a change in elements such as window design, railings, trellises, details, materials, and/or color so that the result is a richly organized combination of features that face the street.
4. Provide a two-story pass-through at grade to break up the length of the building base fronting Central Way. The pass-through should be of sufficient height and width to provide views into the "main street" retail, creating a prominent and attractive visual and physical connection to the interior of the development.



Upper floor step backs reduce apparent bulk of building

C. PARK INTERFACE DISTRICT

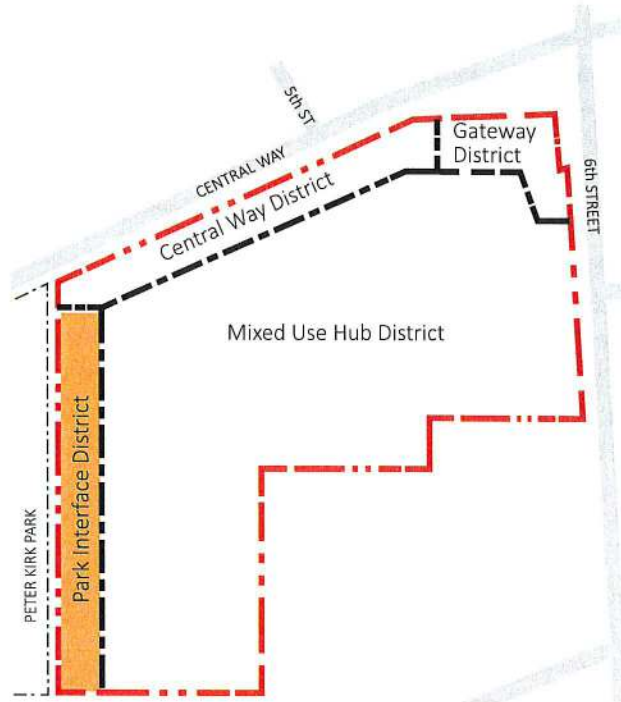
Intent: Create a strong connection from the park and downtown core that allows for clear pedestrian flow to and into the site by incorporating engaging building frontages, plazas, gardens, and other design treatments.

SITE PLANNING

1. Incorporate ample landscaping and distinctive lighting.
2. Incorporate raised crosswalks 20' minimum in width and special paving to promote pedestrian priority along the north-south street bordering the park.
3. Encourage retail spill-out spaces and landscaped courtyards along the building edge. Bring the “in-door” out and “outdoor” in by spilling retail spaces onto the sidewalk and creating small gathering spaces along building edges.
4. Create a visual barrier for drivers between the drive lane and pedestrian walkway along the Peter Kirk Park edge using one or more elements such as: plantings, bollards, small seating walls, stone artwork, etc.
5. Carefully consider views from the park. This includes reducing apparent bulk and mass of building(s) facing the park.

BUILDING DESIGN

1. Buildings shall address park and street by incorporating:
 - terraces and balconies
 - entrances to retail along promenade
 - greater transparency at ground floor or planting zone and/or canopy at edge of buildings where transparency is not feasible, such as theater facades.
 - street front courtyards
 - retail spill-out spaces
2. Where feasible, provide rooftop terraces on lower roof levels as gathering spaces that include amenities such as:
 - seating
 - landscaping
 - canopies or coverings for weather protection
 - public access open during regular operating hours
 - retail/food service where appropriate



Key Plan: Park Interface District



Safe, clearly marked, pedestrian-friendly crosswalks



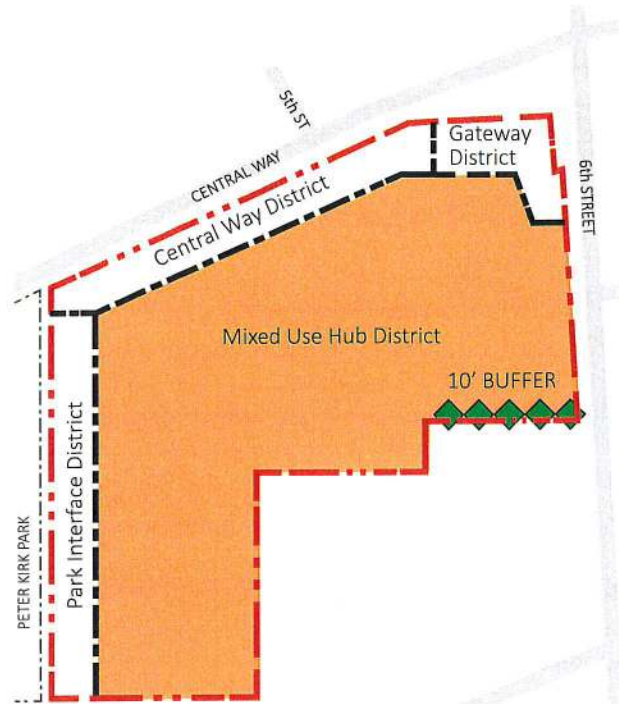
Pedestrian-oriented park interface: trees, clear markings, ground floor retail, balconies

D. MIXED USE HUB

Intent: To establish a vibrant Mixed Use Hub with activated public space and retail/window shopping experience with a mix of uses, both connected to and overlooking the Main Street plaza, primary plaza, and Peter Kirk Park.

SITE PLANNING

- The plazas should be integrated visually and physically with their surroundings, and should provide significant gathering and activity spaces by incorporating the following:
 - special paving
 - water feature(s)
 - special landscaping
 - seating: covered and open
 - distinct lighting
 - access to sunlight
 - accommodations for concerts/performances
- Plazas should be supported as important activity spaces by surrounding them with active public-oriented amenities such as ground floor retail, restaurants, and cafes.
- Locate plazas at or near street grade to promote physical and visual connection to the street and adjacent buildings and their entrances.
- Design outdoor space with safety in mind; public plazas should promote visibility from the street and provide architecturally compatible lighting to enhance night time security
- A ten foot permanent landscaped edge along the southeast property line adjacent to residential uses should be incorporated within the street design. (See diagram at right.)
- The district should also consider providing:
 - small retail pavilion(s)
 - children’s interactive feature
- A pedestrian connection on the southeastern portion of the site should be provided and include:
 - through public 24-hour access
 - connection to Peter Kirk Park
 - pedestrian weather protection and wayfinding signs to help guide pedestrians through parking lot and around the building.



Key Plan: Mixed Use Hub District showing buffer at southeast property line



Pedestrian courtyards framed by retail use

BUILDING DESIGN

1. Lower level facades with predominantly retail uses should locate entrances at the sidewalk or edge of public space to frame pedestrian spaces in key locations.
2. Where feasible, provide rooftop terraces on lower roof levels as gathering spaces that include such amenities as:
 - seating
 - landscaping
 - canopies or coverings for weather protection
 - public access open during regular operating hours
 - retail/food service locations
3. In order to maximize the amount of sunlight in the primary plaza, buildings to the south should be contained under a line at a 41 degree angle measured from the center of the plaza.



Plazas providing significant gathering and activity space, framed by buildings^{above:6, below:7}

Notes

IMAGE CREDITS

The following sources were used for end-noted images.

All other images and illustrations are provided by CollinsWoerman.

1. Kirkland, WA. Map. *Google Maps*. Google, 6 Aug 2014. Web. 6 Aug 2014.
2. VA, Brett. *Outbuilding bike parking Kirkland WA*. 30 Jan 2010, Kirkland, WA, in *Flickr*. https://www.flickr.com/photos/smart_growth/4575869318/in/set-72157623983604822/
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Attachment 2

Powers Creek Development Concepts

1. Emotional ownership by the community: Incorporate the project into the story of Blue Lake

- Design for meaningful community exchanges.
- Inspire unique experiences and discoveries.
- Promote the coalescence of Community, Culture, and Commerce.
- Provide a 'transforming experience' vs. a 'transactional experience'.
- Include neighborhood retail.
- Cooperate with the City to encourage integrated art into the project.



2. Site planning connections: Include public spaces such as plazas.

Create clear vehicular access and parking. Place a strong emphasis on the streetscape. Support active public spaces. Provide clear and inviting public access. Provide connections to Powers Creek.



3. Create community gathering spaces: Create easily accessible public spaces.



Develop spaces that vary in size and offer choices for all ages. Provide safety and comfort. Make plazas and courtyards comfortable for human activity and social interaction – standing, sitting, talking, eating, etc. Integrate into the social life of Blue Lake.

4. Enhance the pedestrian environment:

Promote walkability: network of internal and external pedestrian connections. Use design elements such as separate storefronts, pedestrian-oriented signs, exterior light fixtures, awnings and overhangs to add interest and give a human dimension to street-level building facades. Create visual interest along the street. Incorporate a rich variety of materials. Provide and enhance pedestrian circulation and retail continuity.



5. Integrate motor vehicle access and parking. Minimize the visual presence of parked cars.

Allow parking to be utilized during nights/weekends for benefit of community and downtown.

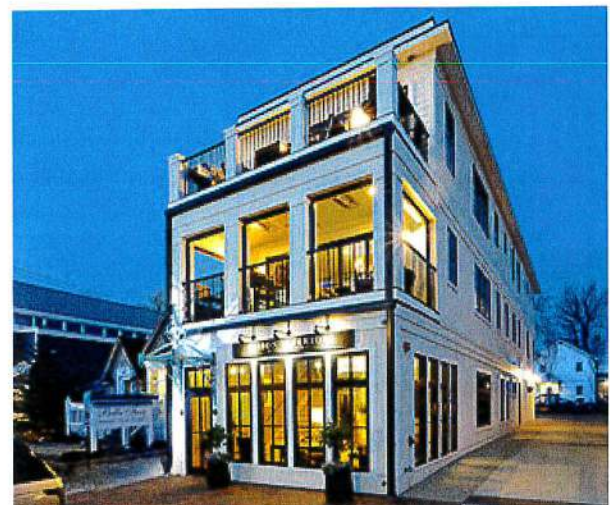
6. A mix of uses = a mix of building types: With heights up to three stories in some regions, create a variety of building types, scales, and materials. Express a three-dimensional quality to the public spaces. Buildings with active ground floor uses should be set as close as possible to sidewalks to establish active, lively uses.



7. Appropriate massing and scale:

Create pedestrian spaces with access to sun.

Address surrounding edges. Consider scale, massing, and detail of individual



buildings. Express human-scale, detailed street level building facades. Integrate art into the project.



8. Sustainability: Establish macro-scale/site sustainable strategies like energy efficiency, stormwater planters, and bioswales. Pursue building-specific sustainable strategies like using regional materials. Encourage tenant-specific sustainable strategies like centralized cooling options and heat recovery. Design to capture natural south facing light for warmth in the winter, and to be naturally cooled in summer with openable windows, and well-placed shade trees. Consider environmental conditions such as sun, shade, and prevailing winds.

9. Mixed-use development: Provide a residential component to the project that will support the viability of a 24-hour development and complement the other uses on the site.



10. Environmental/Recreation Features: Incorporate interpretive recreational features into the development; provide opportunities for the public and the residences to interact with the natural



environment through creative space design. Features may include additional pathways with enhanced recreation features, such as “skate spots,” outdoor fitness features, interactive water features, interactive art installations, amphitheater space, etc...

11. Lighting: Ensure that lighting contributes to the character of the project, provides personal safety, and does not disturb adjacent developments, residences or wildlife.



12. Screening of Trash and Service Areas: All service, loading, and trash collection areas shall be screened by a combination of planting and architectural treatment similar to the design of the adjacent building.

13. Signs: The Master Sign Plan should include a hierarchy of elements based on function, such as:

- 1) site signs for entries, wayfinding, identity;
- 2) building signs for addressing and landmarking
- 3) tenant signs to encourage individualization. Create signs that are creative, engaging, and effective for a variety of user groups and respond to a variety of spaces.

14. Blank Wall Treatment: Any blank walls longer than 20 feet should incorporate two or more of the following to provide visual interest:

- vegetation, such as trees, shrubs, ground cover and or vines adjacent to the wall surface
- artwork, such as bas-relief sculpture, murals, or trellis structures
- seating area with special paving and planting
- architectural detailing, reveals, contrasting materials, or other special visual interest.



